



GOVERNMENT OF BERMUDA

**Ministry of Public Works**  
**Department of Public Lands and Buildings**

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## **EXTERNAL PAINTING SPECIFICATION**

**[NAME OF SCHOOL]**

**Owner:** Ministry of Public Works  
Department of Public Lands and Buildings  
2 Aeolia Drive  
Devonshire DV05  
Bermuda  
1441 292 2500

**Contractor:** [TBC]

**For the Project:** [address of school]

**Building #s: [ All ]**

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**IMPORTANT NOTES:**

Prior to submitting a bid, you must visit the site and satisfy yourself as to the nature, complexity and quantity of the works to be finally performed and the relevant equipment and labour skills, productivity and hours required to complete these works.

**All works will be carried out during the schools' summer break: 1<sup>st</sup> July 2024 until the 26<sup>th</sup> August 2024**

**The contractor is to ensure that any existing murals are retained, and therefore adequately protected for the full duration of the works. The contractor is to therefore allow for carefully "cutting in" to all surrounding paint work.**

## **DIVISION 01. GENERAL REQUIREMENTS**

### **01500 - Temporary Facilities and Controls**

This work shall consist of the application of temporary measures throughout the life of the project.

### **01510 - Temporary Utilities**

All connections and extensions required to provide temporary utilities shall be made by the Contractor at the Contractor's expense.

### **01511 - Temporary Electricity**

The contractor is to connect to existing power service without disrupting local service requirements.

### **01518 - Temporary Water**

The contractor is to connect to an existing water source for construction operations.

### **01523 - Sanitary Facilities**

The Contractor will be able to use the existing sanitary facilities, which he shall maintain in a neat and sanitary condition.

### **01530 - Temporary Construction**

The contractor shall provide and maintain for duration of work all required temporary stairs, ladders, ramps, runways and hoists for use of all trades.

### **01540 - Construction Aides**

The contractor to provide all construction aids needed during construction which shall include but not limited to; elevators, hoists, etc.

### **01542 - Construction Scaffolding and Platforms**

The contractor shall provide and maintain for duration of work all required temporary standing scaffolding and 'Independent tied' scaffold or alternative safety harness system.

### **01550 - Vehicular Access and Parking**

Arrange and agree with client parking areas to accommodate construction personnel.

### **01560 - Temporary Barriers and Enclosures**

The contractor shall provide barriers to prevent unauthorized entry into construction areas and to protect existing facilities and adjacent properties from damage from construction operations. Install barricades and covered walkways required by governing authorities for public right of ways.

### **01600 - Product Requirements (Scope of Work)**

All materials shall be installed in strict accordance with the manufacturer's written specifications or Material's Institute Standards. Where the manufacturer's recommended details are used, the

Manufacturer shall be responsible for the performance of their product. All Items not specifically mentioned that are required to make the work complete and operational shall be included.

**Installation and Storage** - All materials, supplies and equipment shall be installed per manufacturer's recommendations and per applicable codes and requirements. Material stored on site shall be protected from damage by moisture, wind, sun, abuse or any other harmful affects.

**01700 - Execution Requirements**

The execution of all work shall be in strict accordance with these specifications and manufacturer's written specifications or Material's Institute Standards. Where the manufacturer's recommended details are used, the manufacturer shall be responsible for the performance of their product. All work not specifically mentioned that is required to make the work complete and operational shall be included.

**Codes** - Construction shall comply with all applicable building codes. It is the responsibility of the Contractor to insure compliance with said codes and modify the specifications as needed to comply with such codes.

**Measurements** - The Contractor shall check and verify all dimensions and conditions before proceeding with construction.

**Workmanship** - Workmanship shall conform to the best and highest standards of quality in each trade and shall include all items of fabrication, construction and installation. All work shall be completed by skilled tradesmen and mechanics. Installation of all equipment and materials shall be in strict accordance with manufacturer's recommendations.

**Insurance** - Builders Risk Insurance shall be maintained by the contractor during the course of construction until final acceptance by the owner. All bonding and insurance requirements shall be coordinated with the Owner prior to beginning construction. All contractors shall provide and be solely responsible for necessary barricades and safety precautions, and strictly adhere to all governing codes on safety, including the OSHA Act.

**01740 - Cleaning**

Construction site to be in a clean and orderly condition throughout the construction process. At the conclusion of construction, the project shall be properly cleaned. This should include but not be limited to; cleaning the exterior glass, surfaces exposed to view, remove temporary labels, stains and foreign substances, polish transparent and glossy surfaces, and remove all waste and surplus materials.

## **DIVISION 04. MASONRY**

### **04000 - General**

Contractor shall provide labour and materials pertaining to masonry work as required and as specified herein, while complying with all applicable building codes.

### **04100 – Walls**

All cracks or defects should be repaired and sealed leaving all ready to receive paintwork.

Brush off all dust with clean water and thereafter apply polymer modified mortar (“Fibrebond” or similar approved) repair to all defective masonry areas including for reforming joints to match existing profile.

## **DIVISION 07. ROOFING**

### **07000 - General**

Contractor shall provide labor and materials pertaining to thermal and moisture protection work as specified herein, while complying with all applicable building codes.

### **07090 – Waterproofing Concrete Flat Roofs**

All roof joints and penetrations shall be made watertight using approved methods and materials.

Include allowance for patch repairs to roof comprising removing all loose masonry and vegetation to ensure the surface to be repaired is stable. Brush off all dust with clean water and thereafter apply polymer modified mortar (“Fibrebond” or similar approved) repair to defective masonry areas including for reforming joints to match existing profile.

### **07110 – Repairs to Pitched Bermuda Stone Roofs**

All roof joints and penetrations shall be made watertight using approved methods.

Include allowance for patch repairs to roof comprising removing and repairing all loose masonry and vegetation to ensure the surface to be repaired is stable. Brush off all dust with clean water and thereafter apply polymer modified mortar (“Fibrebond” or similar approved) mortar repair to all defective masonry areas including for reforming joints to match existing profile.

Include for repairing cracks to masonry around existing rainwater outlets. Leave repairs ready to receive subsequent painting coats.

## **07111 – Repairs to Liquid Membrane Coated Roofs**

Scrape and cut out all cracks and blisters. Brush off all loose and friable paintwork and ensure that the deck is sound and free from holes, surface de-lamination, splitting, and that all unsupported joints are not flexing. Repair all areas that require attention. Using polymer modified mortar (“Fibrebond” or similar approved).

## **07920 - Caulking and Sealants**

For all paintable surfaces allow for removing all existing defective caulking and renewing. Use a Latex based caulk. Color shall match paint.

## **07930 – Roof Glides**

Repair all defective or damaged roof glides. Cut out all damaged sections of existing roof glides and reform glides using materials to match the existing to leave a smooth continuous finish ready to receive painting coat.

## **DIVISION 09. FINISHES**

### **09000 - General**

Contractor shall provide labor and materials pertaining to the finishes as required and as specified herein, while complying with all applicable building codes.

**All previously painted external surfaces are to be re-painted with paint type and colour to match the existing.**

### **09910 - Exterior Walls**

Repairs surface defects (as required by surface conditions)

- a) Patching: Repair surface defects such as spalls, bugholes, pitting or other voids in the surface by applying an appropriate leveler in one or multiple applications to fill the void until it is flush with the surface. Moist cure the patch when hot or dry weather conditions exist.
- b) All nail heads shall be set below the surface and finished smooth.
- c) Mildew: The mildew must be removed and surface treated to inhibit further mildew growth. Exterior walls shall receive a primer coat and two coats of flat or semi-gloss paint.

- d) Efflorescence: Where efflorescence has occurred, wash with a 10% muriatic solution, rinse thoroughly with clean water and allow to thoroughly dry at least one week before painting or sealing.

**Paint** - All external walls to be painted with a sealing coat (to new or patch repaired plaster) and a minimum two finishing coats of exterior quality paint.

### **09910 – Bermuda Stone Roofs**

All work is to be inclusive of surface preparation, including the Clorox cleaning and scraping of the existing roofs (by brush) Jet spraying is not permitted. If mildew is evident, the mildew must be removed and surface treated to inhibit further mildew growth.

**Paint** - All Bermuda stone roof surfaces that have been previously painted with a Cement based painting product are to be coated with minimum of two finishing coats of “Proseal” cement based products or similar approved painting products.

### **09910 – Liquid Membrane Coated Roofs**

All work is to be inclusive of surface preparation, including the Clorox cleaning and scraping of the existing roofs either by brush or jet spraying at 3000 psi. If mildew is evident, the mildew must be removed and surface treated to inhibit further mildew growth.

**Paint** - All liquid membrane coated roof surfaces are to be coated with minimum of two finishing coats of paint to match the existing roof scheme.

### **09911 - Exterior Wood Surfaces**

All nail heads shall be set below the surface and finished smooth. If mildew is evident, the mildew must be removed and surface treated to inhibit further mildew growth. When staining, pre-prime with the same product as specified for the final coat. Sand and putty wood surface smooth before finish is applied. Surfaces shall be sanded before each finish layer is applied. Windows and doors are to be painted in the open position and include for painting all exposed edges

**Paint** - Prime wood surfaces including faces, edges and ends before installation. After installation, apply at least one coat of wood primer and two coats of finish paint.

**Specify Trim Paint:** Apply at least one coat of alkyd-type enamel primer and two finish coats color to match existing.



### **09971 – External Steel and Iron**

Before applying a finish, remove dirt, oil, grease and other loose particles. Wash with solvent. If rusted, wire brush or sand clean.

**Paint:** Apply at least two finish coats, where required apply one coat of alkyd-type enamel primer.

### **GENERALLY**

Notes:

- (i) Prior to submitting a bid, you must visit the site and satisfy yourself as to the nature, complexity associated with completing these works.
- (ii) All materials and labour will be provided by the successful Contractor and shall therefore be included in his price.

On completion of ALL roof painting works the contractor is to provide **a minimum 12 month warranty** on any future defects or leaks, which the contractor will be required to repair at no additional cost to the client.



GOVERNMENT OF BERMUDA

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Department of Public Land and Buildings**

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**INTERNAL PAINTING SPECIFICATION**

**[NAME OF SCHOOL]**

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Department of Public Lands and Buildings  
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**IMPORTANT NOTES:**

Prior to submitting a bid, you must visit the site and satisfy yourself as to the nature, complexity and quantity of the works to be finally performed and the relevant equipment and labour skills, productivity and hours required to complete these works.

The School will be responsible for ensuring clear access is provided to all surfaces to be painted

The contractor is to ensure that all surfaces to furniture and fittings which are not to be painted are adequately protected by dustsheets etc.

**All works will be carried out during the schools' summer break: 1<sup>st</sup> July 2024 until the 26<sup>th</sup> August 2024**

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Manufacturer shall be responsible for the performance of their product. All Items not specifically mentioned that are required to make the work complete and operational shall be included.

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## **DIVISION 09. FINISHES**

### **Generally**

The Contractor shall ensure that all surfaces are in a fit and proper condition to receive the coatings specified.

Clean down, remove all foreign matter including grease, dust, dirt, fill cracks and holes, fine sand and leave smooth. The whole surface must be thoroughly dry unless otherwise specified before coating commences. If there is mould or moss on the surface treat it with an appropriate fungicide.

All surfaces shall be finished with the appropriate coating system to produce a satisfactory result. No variation will be made for alleged additional work or alternative finish without prior approval from the Project Manager.

The Contractors shall remove furniture, switch plates, light fittings, etc., before coating, and replace on completion. Allow each coat to harden thoroughly, then sand down and dust clean before re-coating.

Cutting in between different colours shall be done neatly in straight lines to satisfaction of Project Manager.

Manufacturer's instructions shall be strictly followed

### **09912 - Interior Walls and Ceilings**

Remove all loose paint and prepare surfaces to receive new paint. Spot prime where required and apply one coat of flat or semi-gloss paint.

**Wall and Ceiling Paint:** Colour to match existing

### **09930 - Interior Wood**

Wood surfaces shall be sanded smooth before finish is applied. Putty areas with a wood based filler where nails or other defects appear in the surface.

**Paint** - Prime bare wood surfaces including faces, edges and ends. Apply at least one coat of wood primer and one coat of finish paint. Surfaces shall be sanded before each finish layer is applied.

**Varnish** – Apply one coat of varnish to existing varnished wood surfaces

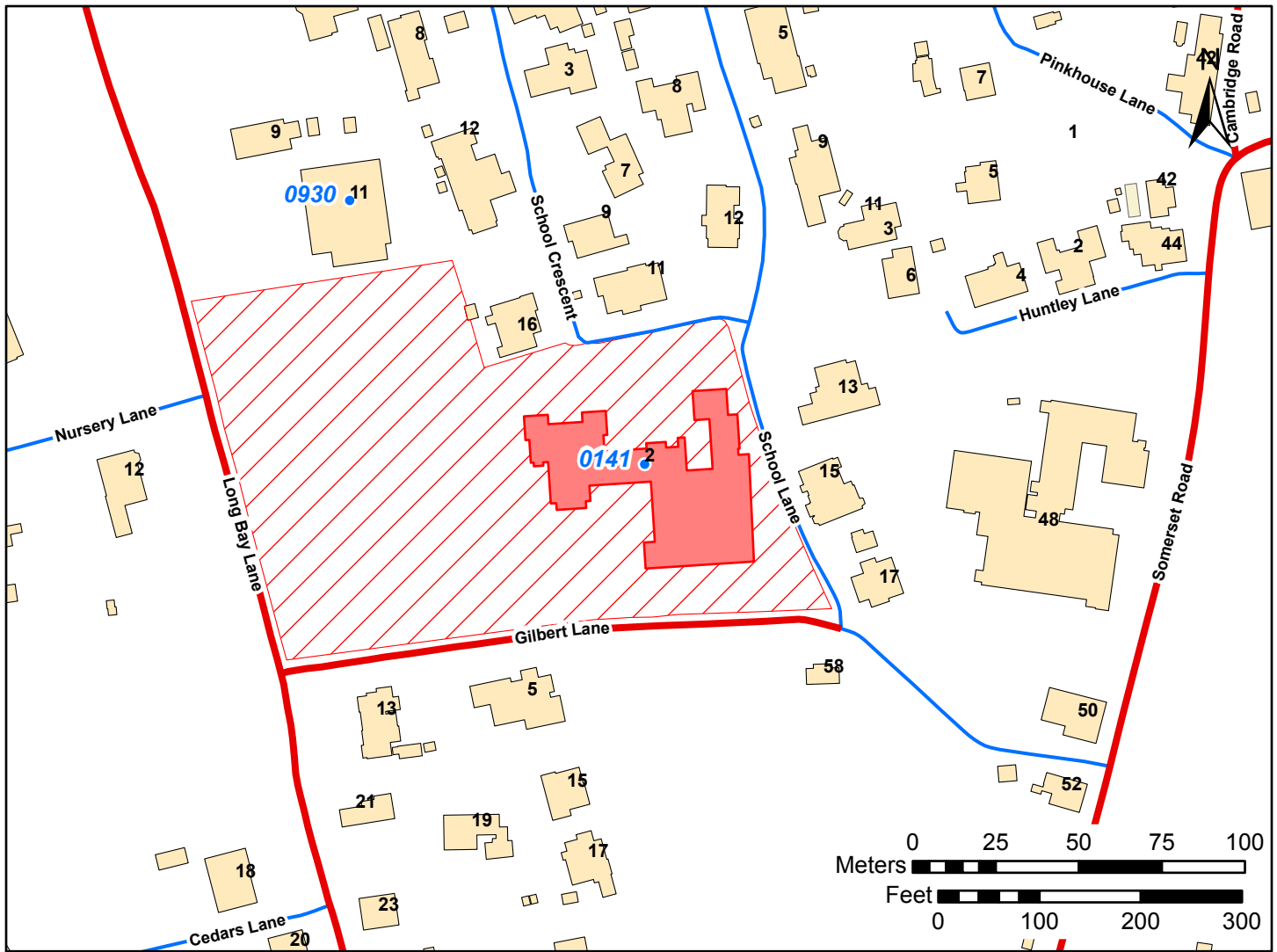
Notes:

- (i) Prior to submitting a bid, you must visit the site and satisfy yourself as to the nature, complexity associated with completing these works.
- (ii) All materials and labour will be provided by the successful Contractor and shall therefore be included in his price.
- (iii) Contractor to use Glidden "Gripper" Primer on walls/ceilings that are water stained, or experience mildew and on timber that has hairline cracks.
- (iv) Contractor to use Xypex on masonry surfaces experiencing dampness prior to applying paint.





# SITE PLAN



## Somerset Primary

Estates Reference #: **S0009**

Address: 2 Gilbert Lane, Sandys, MA 03

School Type: **Primary School**

### Areas

Total Building Footprint: 1,850sq.m  
 19,908sq.ft

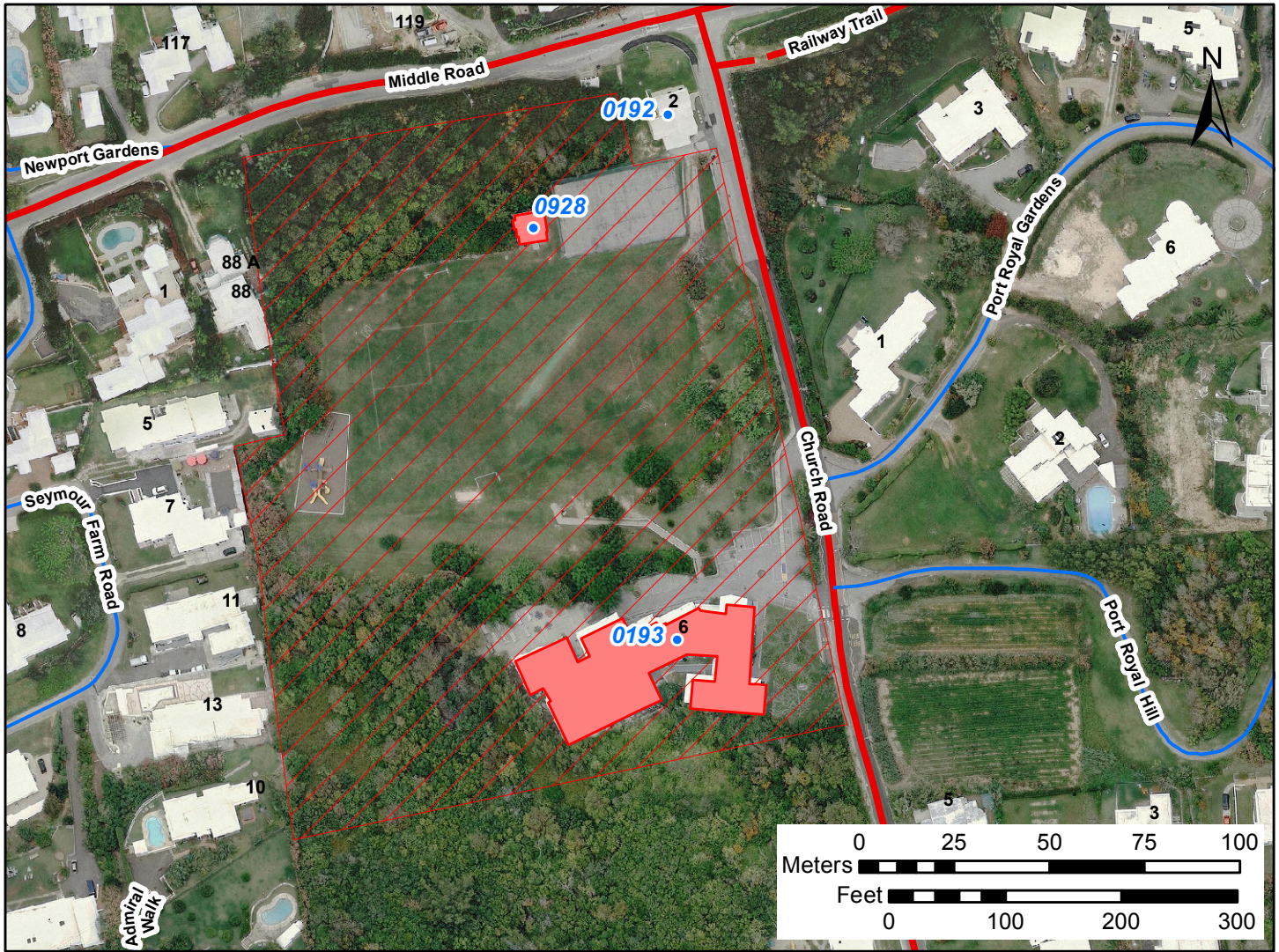
Approximate Land Area: 1.559ha.  
 3.853ac.

### Legend

- Private Estate
- Public Highway
- Building
- Ruin



# SITE PLAN



## Port Royal Primary School

Estates Reference #: **S0063**

Address: 6 Church Road, Southampton, SN 01

School Type: **Primary School**

### Areas

Total Building Footprint: 1,306 sq.m  
 14,059 sq.ft

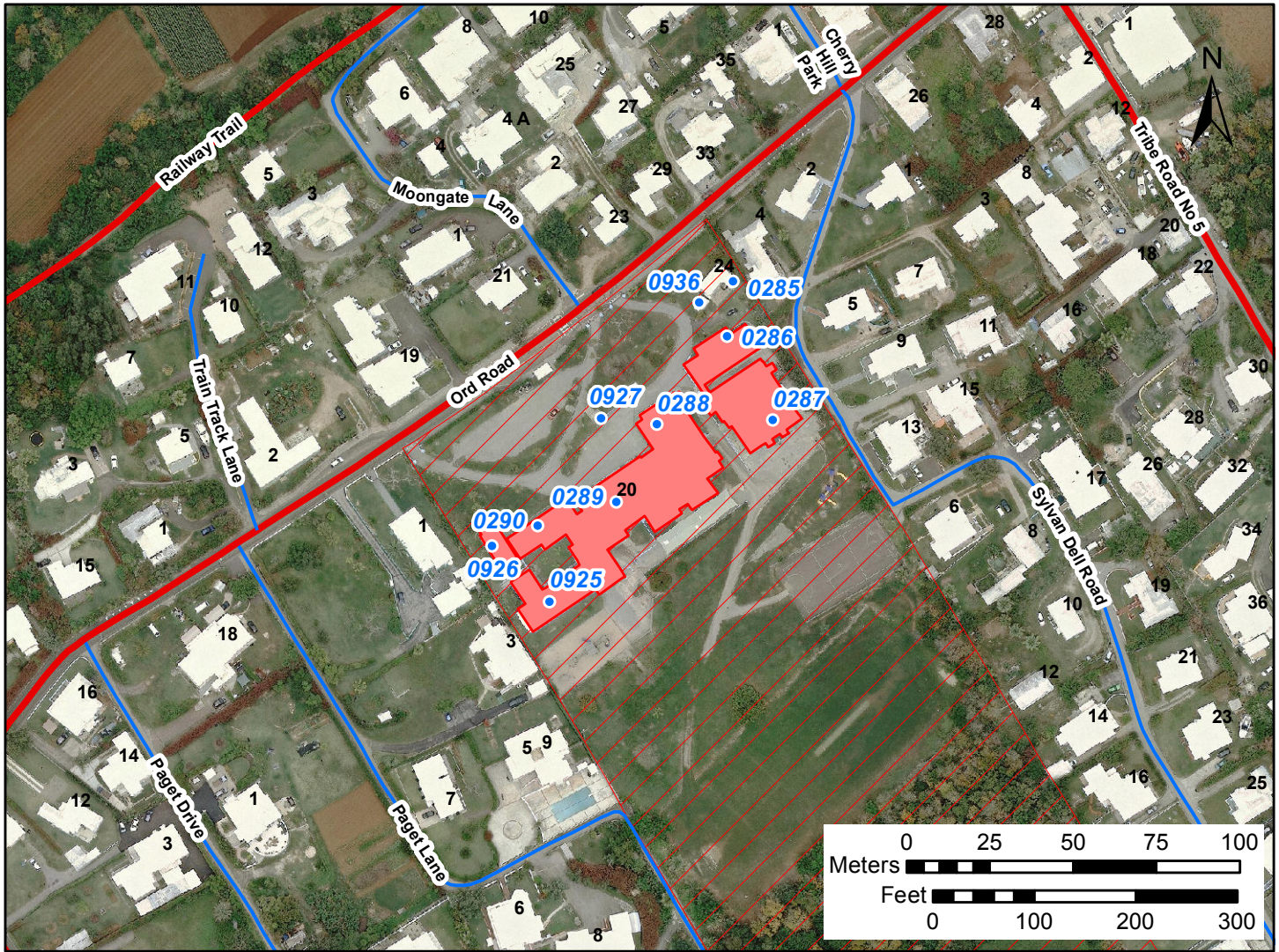
Approximate Land Area: 2.356 ha.  
 5.823 ac.

### Legend

- |                                    |                      |                            |
|------------------------------------|----------------------|----------------------------|
| Government Maintained Schools      | Corp. of Hamilton    | Public Highway             |
| Land Occupied by Government School | Private (Government) | Public (Corp. St. Georges) |
| un-named                           | Private Island       | Railway Trail              |
| Corp. St. Georges                  | Private Estate       | WEDCo                      |
|                                    |                      | BLDC                       |



# SITE PLAN



## Paget Primary School

Estates Reference #: **S0228**

Address: 20 Ord Road, Paget,

School Type: **Primary School**

### Areas

Total Building Footprint: 2,346 sq.m  
 25,250 sq.ft

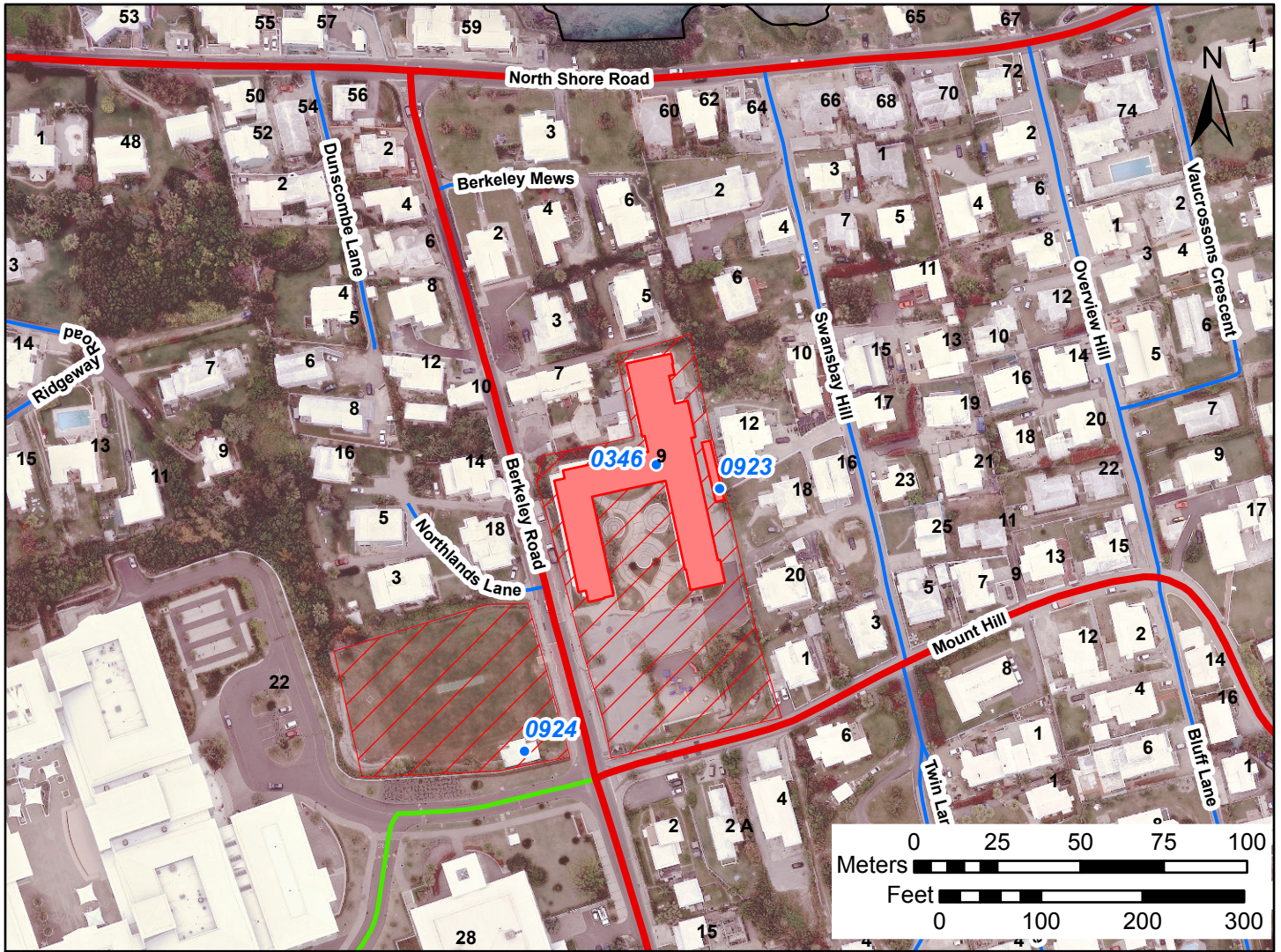
Approximate Land Area: 3.100 ha.  
 7.660 ac.

### Legend

- |                                    |                      |                            |
|------------------------------------|----------------------|----------------------------|
| Government Maintained Schools      | Corp. of Hamilton    | Public Highway             |
| Land Occupied by Government School | Private (Government) | Public (Corp. St. Georges) |
| un-named                           | Private Island       | Railway Trail              |
| Corp. St. Georges                  | Private Estate       | WEDCo                      |
|                                    |                      | BLDC                       |



# SITE PLAN



## Northlands Primary School

Estates Reference #: **S0345**

Address: 9 Berkeley Road, Pembroke, HM 13

School Type: **Primary School**

### Areas

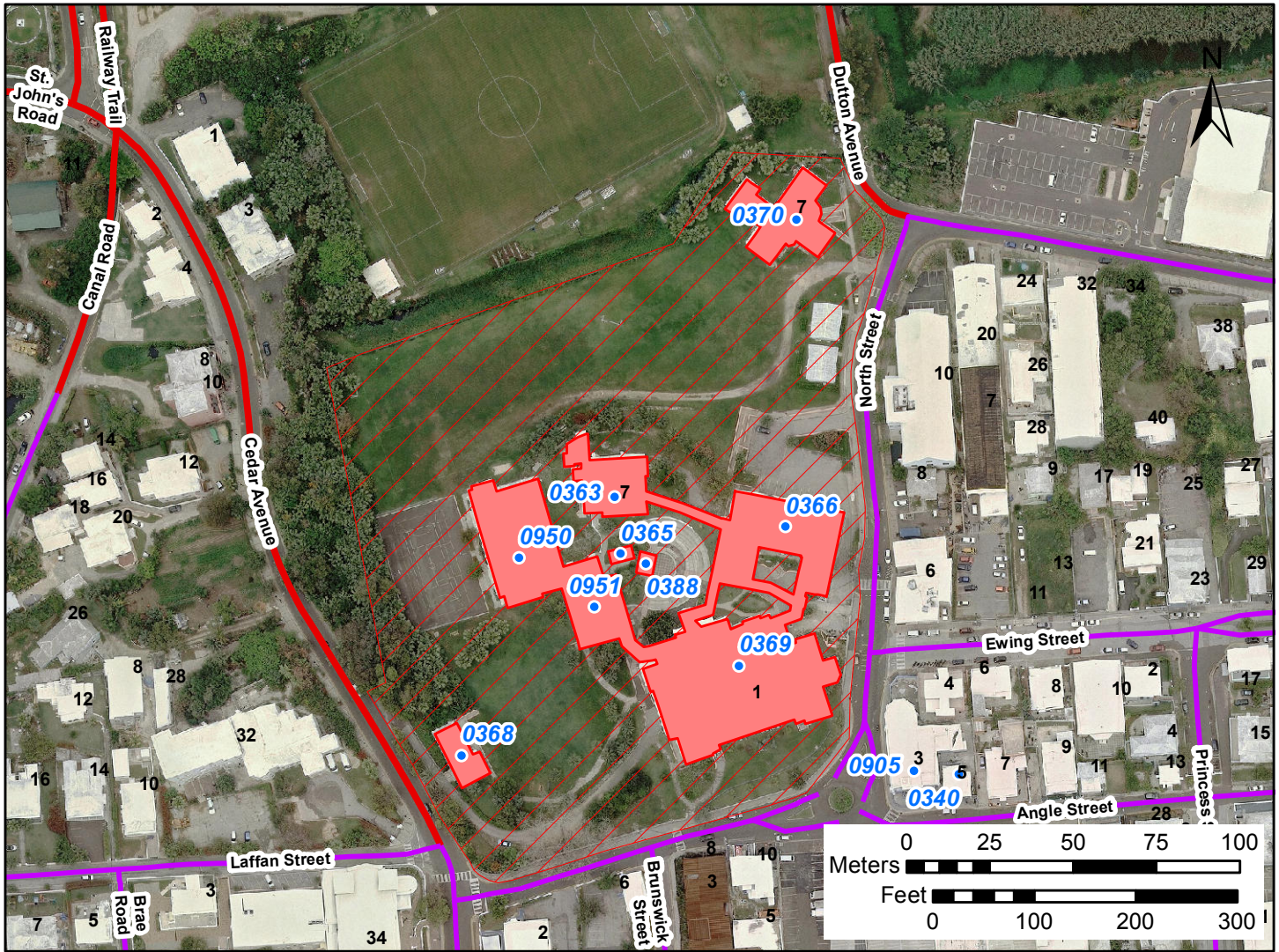
Total Building Footprint: 1,476sq.m  
 15,887sq.ft  
 Approximate Land Area: 0.825ha.  
 2.038ac.

### Legend

- Government Maintained Schools
- Land Occupied by Government School
- Private (Government)
- Private Estate
- Public Highway



# SITE PLAN



## Dellwood Middle School

Estates Reference #: **S0349**

Address: 1 North Street, City of Hamilton, HM 09

School Type: **Middle School**

### Areas

Total Building Footprint: 4,948 sq.m  
 53,264 sq.ft

Approximate Land Area: 2.570 ha.  
 6.350 ac.

### Legend

- |                                    |                      |                            |
|------------------------------------|----------------------|----------------------------|
| Government Maintained Schools      | Corp. of Hamilton    | Public Highway             |
| Land Occupied by Government School | Private (Government) | Public (Corp. St. Georges) |
| un-named                           | Private Island       | Railway Trail              |
| Corp. St. Georges                  | Private Estate       | WEDCo                      |
|                                    |                      | BLDC                       |