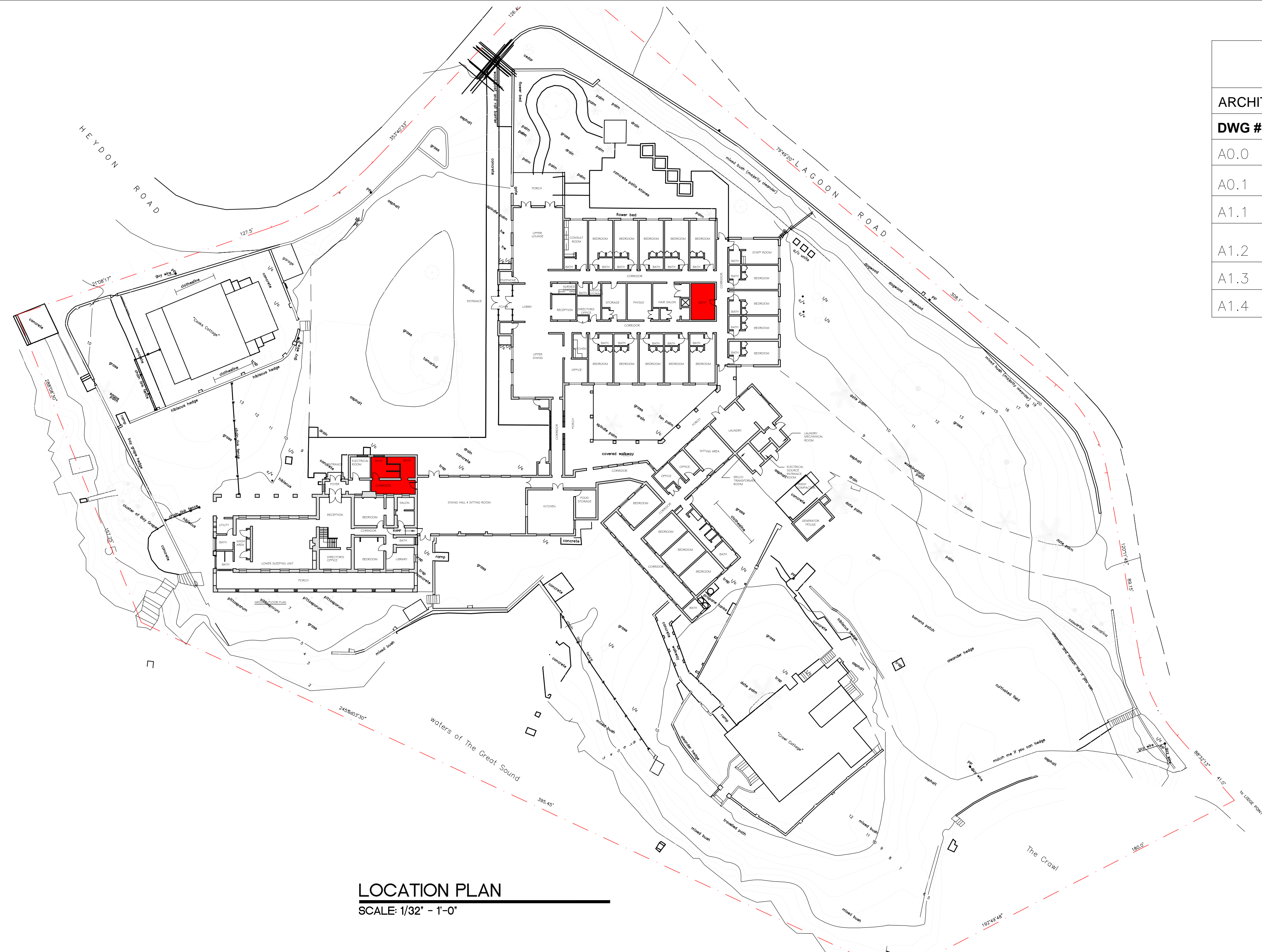


# DRAWING INDEX

## ARCHITECTURAL DRAWINGS

DWG #	DRAWING TITLE
A0.0	COVER SHEET & LOCATION PLAN
A0.1	GENERAL NOTES
A1.1	TUB ROOM AREA C: FLOOR PLANS/GENERAL NOTES
A1.2	TUB ROOM AREA C: INTERIOR ELEVATIONS & ENLARGED SHOWER STALL & CABINETRY DETAILS
A1.3	WASHROOM AREA A: FLOOR PLANS/GENERAL NOTES
A1.4	WASHROOM AREA A: INTERIOR ELEVATIONS



LOCATION PLAN  
SCALE: 1/32" = 1'-0"

# ISSUED FOR TENDER LEFROY HOUSE CARE COMMUNITY TUB ROOM & WASHROOM REFURBISHMENT PROJECT

SANDY'S PARISH

Prepared by  
MINISTRY OF PUBLIC WORKS

ARCHITECTS SECTION

for

MINISTRY OF HEALTH  
LEFROY HOUSE CARE COMMUNITY



## WASTE MANAGEMENT NOTES:

- WOOD PRODUCTS EXCEPT THOSE THAT PRODUCE UNDESIRABLE EMISSIONS) SHALL BE DELIVERED TO THE TYNES BAY WASTE TREATMENT FACILITY.
- ALL WASTE SUITABLE FOR A COVER MATERIAL SHALL BE DELIVERED TO THE PEMBROKE DUMP.
- ALL METAL, PVC, GYPSUM BOARD SHALL BE DELIVERED TO THE AIRPORT WASTE MANAGEMENT FACILITY.
- ANY HAZARDOUS WASTE, SUCH AS PRODUCTS CONTAINING MERCURY (LIKE FLUORESCENT LAMPS MERCURY SWITCHES), PCB'S (LIGHT BALLASTS, TRANSFORMERS), OTHER CHEMICALS (PESTICIDES, OILS) SHALL NOT BE ACCEPTED AT ANY FACILITY, EXCEPT DURING HAZARDOUS WASTE DROP OFF DAYS OR BY PRIOR ARRANGEMENT WITH THE WASTE MANAGEMENT SECTION OF THE MINISTRY OF WORKS AND ENGINEERING.
- MISCELLANEOUS METAL SUCH AS DOOR FRAMES, WINDOW FRAMES, WITH OR WITHOUT GLASS, SHALL BE DELIVERED TO THE AIRPORT DUMP SITE.
- ALL WHITE GOODS, SMALL APPLIANCES, TV SETS, ETC. SHALL BE CLEARED OF CONTAMINANTS SUCH AS MERCURY, PCB, REFRIGERANTS, OILS, ETC. THEY SHALL BE GRATED OR FLATTENED BEFORE DELIVERY TO THE AIRPORT SITE.
- ALL UNSALVAGEABLE LUMBER IS TO BE STRIPPED OF PLASTER, EXPANDED WIRE MESH, STEEL ATTACHMENTS (EG. DOOR KNOBS, LOCK SETS, HINGES), ETC. (SMALL NAILS ARE ACCEPTABLE), THE LUMBER SHALL BE DELIVERED TO THE TYNES BAY SITE IN A SIZE READY FOR INCINERATION (CHIPPED TO SMALL PIECES, SAY 3'x 3'x 3" OR LARGER SIZES (LESS THAN 3'x 6'x 5") MAY BE STORED BY THE CONTRACTOR AND DELIVERED TO THE TYNES BAY SITE BY PRIOR ARRANGEMENT WITH THE MANAGER OF THE TYNES BAY SITE. ALTERNATIVELY, THE CONTRACTOR MAY APPLY TO THE MINISTRY OF ENVIRONMENT FOR PERMISSION TO BURN LUMBER.
- ALL PLASTER, PLASTER LATH, ETC. AND ASSOCIATED EXPANDED METAL MESH SHALL BE SIZED TO MANAGEABLE DIMENSIONS AND DELIVERED NOT MIXED WITH OTHER DEMOLITION WASTE TO THE AIRPORT SITE.
- CARPETS SHALL BE STRIPPED FROM THE SITE, ROLLED INTO SIZE NOT EXCEEDING 10' IN DIAMETER AND 10' IN LENGTH AND SHALL BE DELIVERED TO THE TYNES BAY SITE. GENERAL CONTRACTOR TO MAKE ARRANGEMENTS WITH FACILITY MANAGEMENT PRIOR TO DROP-OFF.
- ALL WOODEN FURNITURE/MILLWORK IS TO BE AS FREE OF METAL AS PRACTICAL AND TRANSPORTED TO THE TYNES BAY SITE.
- FURNITURE MADE OF POLYVINYL CHLORIDE (PVC) SHALL BE DELIVERED TO THE AIRPORT SITE.

## GENERAL NOTES:

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO:
  - USE FIGURE DIM. IN PREFERENCE TO SCALING
  - VERIFY AND CHECK ALL DIMENSIONS PRIOR AND DURING CONSTRUCTION AND BEFORE ORDERING MATERIALS.
  - DETERMINE THE LOCATION OF EXISTING SERVICES AND REQUIRED CHANGES VERIFY ALL EXISTING CONDITIONS FOR COORDINATION OF WORK TO BE EXECUTED
  - REPORT ANY DISCREPANCIES OR SUBSTITUTIONS TO BE REVIEWED BY THE PROJECT MANAGER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE THAT HAVE NOT BEEN APPROVED PRIOR TO CONTRACT SIGNING.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, EXCEPT THE BUILDING PERMIT, INCLUDING WORK PERMITS FOR FOREIGN SUB-CONTRACTORS AND INSPECTIONS REQUIRED BY THE APPROPRIATE AUTHORITY TO ALLOW WORK TO PROCEED AND AS APPLICABLE FOR OCCUPANCY. THE CONTRACTOR WILL ALSO BE RESPONSIBLE TO ARRANGE FOR ANY REQUIRED INSPECTIONS BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES FOR PROJECTS OF THIS NATURE, AND SHALL CONFORM TO ALL CURRENT LAWS, RULES REGULATIONS AND CODE REQUIREMENTS APPLICABLE TO THE WORK REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- THE CONTRACTOR SHALL CONFORM TO THE LOCAL BUILDING CODES, LATEST EDITION, UL STANDARDS WHERE APPLICABLE, AND STANDARDS FOR THE PRESERVATION OF PUBLIC HEALTH AND CONSTRUCTION SAFETY, WHICH ARE, OR BECOME, IN FORCE DURING THE PERFORMANCE OF THE WORK. THE BERMUDA LAW SHALL GOVERN THIS CONTRACT.
- IN THE EVENT OF CONFLICTS BETWEEN CONTRACT DOCUMENTS THE FOLLOWING SHALL APPLY:
  - (A) FIGURED DIMENSIONS SHOWN ON A DRAWING SHALL GOVERN EVEN THOUGH THEY MAY DIFFER FROM DIMENSIONS SCALED ON THE SAME DRAWING.
  - (B) DRAWINGS OF LARGER SCALE SHALL GOVERN OVER THOSE OF SMALLER SCALE OF THE SAME DATE.
  - (C) SPECIFICATIONS SHALL GOVERN OVER DRAWINGS.
  - (D) THE GENERAL CONDITIONS SHALL GOVERN OVER SPECIFICATIONS.
  - (E) SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER THE GENERAL CONDITIONS, AND
  - (F) THE EXECUTED AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR SHALL GOVERN OVER ALL DOCUMENTS.
- NOTWITHSTANDING THE FOREGOING, DOCUMENTS OF LATER DATE SHALL ALWAYS GOVERN.
- THE CONTRACTOR SHALL SECTION OFF THE CONSTRUCTION AREA SUCH THAT DUST IS KEPT TO A MINIMUM AND THE AREA OF WORK IS SECURED FROM UNAUTHORIZED ACCESS. THE CONTRACTOR IS TO KEEP THE SITE IN AN OCCUPIABLE AND OPERATIONAL STATE OF CLEANLINESS. OPERATIONAL SYSTEMS INCLUDE BUT ARE NOT LIMITED TO FIRE DETECTION & NOTIFICATION, HVAC AND ELECTRICAL SYSTEMS. IN THE EVENT SERVICE DISRUPTION AFFECTS OTHER TENANCIES, NOTICE OF SUCH SHALL BE PROVIDED BY THE CONTRACTOR AT LEAST 48 HOURS IN ADVANCE.
- THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCUMULATE AND SHOULD BE REMOVED AT THE END OF EACH WORKING DAY AND LAWFULLY DISPOSED OF.
- DRAWINGS ARE NOT TO BE SCALED
- THE CONTRACTOR SHOULD TAKE NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, AND EXISTING PROPERTY. ALL DISTURBED WORK SHALL BE MADE GOOD TO MATCH EXISTING WORK OR AS DIRECTED BY THE PROJECT MANAGER.
- ENSURE ALL EXISTING SURFACES IN THE GROUND FLOOR LOBBY AND ELEVATOR ARE WELL PROTECTED DURING CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION WILL BE PATCHED AND MADE NEW AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IN CARRYING OUT THE WORK MUST ABIDE BY THE SAFETY AND HEALTH ACT (1982), AMENDMENTS OF ALL OCCUPATIONAL SAFETY & HEALTH) ENSURING THAT THE NECESSARY PRECAUTIONS ARE TAKEN TO ENSURE THE SAFETY AND HEALTH OF CONTRACT WORKERS, SITE VISITORS AND ALL PERSONNEL INVOLVED IN THE PROJECT OR ATTENDING THE PREMISES WHERE THE WORK IS BEING COMPLETED, INCLUDING KEEPING NOISE AND DIRT TO A MINIMUM.
- THE CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE SECURE EACH DAY THAT WORK IS BEING PERFORMED.
- PROVIDE SAMPLES AND SUBMITTALS FOR ITEMS INCLUDING BUT NOT LIMITED TO DOOR HARDWARE, ACCESSORIES, FITTINGS & EQUIPMENT. PROVIDE SHOP DRAWINGS FOR ALL MILLWORK ITEMS
- CUTTING AND PATCHING**
  - ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR WORK SHALL BE INCLUDED UNDER THIS CONTRACT AND BE ACCEPTABLE TO THE ARCHITECT/OWNER.
  - WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE STOPPING MATERIAL LISTED WITH AND BEAR LABEL OF CSA AND U.L.C. AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATION.
- ALL INTERIOR FURNITURE FITTINGS AND EQUIPMENT TO BE COORDINATED WITH COMMERCIAL INTERIOR GROUPS (CIG) 'F' SERIES DRAWINGS (NOTED FOR REFERENCE ONLY)
- ALL WINDOW INSTALLATION COORDINATION/ATTENDANCE MATTERS TO BE REFERRED TO THE PROJECT MANAGER FOR THE BERMUDA GOVERNMENT.
- ALL PENETRATIONS (EXISTING & NEW) THROUGH FIRE RATED ASSEMBLIES INCLUDING BUT NOT LIMITED TO WALLS, SLABS AND CEILINGS SHOULD BE FIRE RATED PER CODE REQUIREMENTS.

## SCOPE OF WORK NOTES:

- LOCATION:** THE LOCATION OF SELECTIVE DEMOLITION TO THE BUILDING STRUCTURE WILL NORMALLY BE INDICATED ON THE DRAWINGS AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- CONDITION OF STRUCTURE:** THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY DEMOLITION OR CONSTRUCTION WORK.
- TEMPORARY SIGNAGE:** DURING DEMOLITION OR ALTERATION WORK IN BUILDINGS USED BY THE GENERAL PUBLIC AND STAFF, THE CONTRACTOR SHALL PROVIDE SIGNS DIRECTING BUILDING USERS TO NECESSARY SERVICES OF THE FACILITY, IN ADDITION TO SIGNS APOLOGIZING FROM DISRUPTION.
- PROTECTION:** THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND THE GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- WHERE APPLICABLE, THE CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES TO PROVIDE FREE AND SAFE PASSAGE OF THE OWNER'S PERSONNEL AND THE GENERAL PUBLIC TO AND FROM OCCUPIED AREAS OF THE BUILDING.
- WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF THE STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT FACILITIES OR WORK TO REMAIN.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ANY EXISTING FINISH WORK THAT IS TO REMAIN AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS, INCLUDING PROTECTING FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY.
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY DUST-PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATION ARE PERFORMED, AND EQUIP PARTITIONS WITH DUST-PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON THE EXTERIOR SURFACES, AND THE INSTALLATION NEW CONSTRUCTION, TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE AND INTERIOR AREAS OF THE EXISTING BUILDING.
- THE CONTRACTOR SHALL MAKE PROVISION FOR THE CONTINUITY OF UTILITY SERVICES TO OCCUPIED AREAS OF THE SITE AND SHALL PERMANENTLY OR TEMPORARILY CAP OFF OR RELOCATE UTILITY SERVICE LINES AS REQUIRED.
- CONCRETE AND MASONRY:** CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS, CUT AT JUNCTIONS WITH CONSTRUCTION REMAIN, USING A POWER-DRIVEN MASONRY SAW OR HAND TOOLS WHERE POSSIBLE AND NOT POWER-DRIVEN IMPACT TOOLS.
- DEBRIS SHOULD BE PROMPTLY REMOVED TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS AND FRAMING, AND TO AVOID BLOCKING EGRESS TOO & FROM THE SITE.
- SERVICES:** IF UNEXPECTED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS ARE ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT DETAILS OF SUCH TO THE ARCHITECT.
- ASBESTOS AND OTHER HAZARDOUS MATERIALS: IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OR OTHER OPERATIONS, THE CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA AND SUBMIT A REPORT TO THE ARCHITECT; ANY WORK IN SUCH AN AREA SHALL COMPLY WITH APPLICABLE REGULATIONS CONCERNING REMOVAL, HANDLING, PROTECTION AGAINST EXPOSURE AND ENVIRONMENTAL POLLUTION, AND DISPOSAL.
- BURNING OF ANY REMOVED MATERIALS IS NOT PERMITTED ON THE SITE.
- PARKING:** THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE CORPORATION OF HAMILTON IN SECURING CURB SIDE PARKING FOR LOADING AND UNLOADING OF BUILDING MATERIAL.

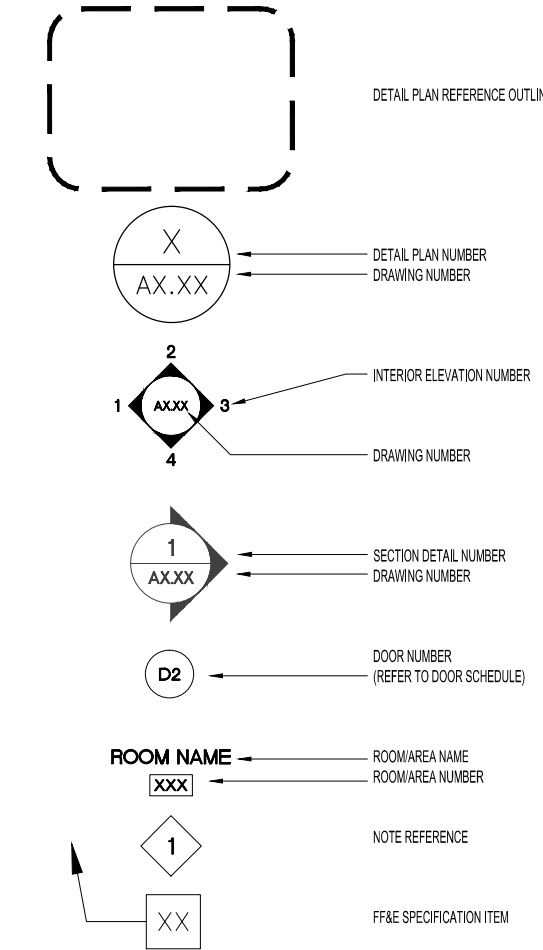
## GENERAL RCP NOTES:

- CONTRACTOR TO REVIEW EXISTING CEILING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPORT ANY INTERFERENCE WITH DUCTS, BEAMS, PIPES ETC IMMEDIATELY TO DESIGNER.
- ALL MECHANICAL AND ELECTRICAL WORKS TO COMPLY WITH BERMUDA BUILDING CODE REQUIREMENTS AND ALL AUTHORITIES HAVING JURISDICTION. ANY CHANGES TO BE REVIEWED WITH DESIGNER.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR ALL LABOUR AND MATERIALS TO COMPLETE THE NECESSARY HVAC ALTERATIONS.
- WHERE REQUIRED PROVIDE FIRE DAMPERS AT ALL DUCTS PENETRATING FIRE SEPARATION.
- ALL SWITCHES AND COVER PLATES TO MATCH EXISTING, MULTIPLE SWITCHES TO BE GANGED.
- ALL EXISTING, NEW AND RELOCATED EMERGENCY EXIT SIGNS TO BE CONNECTED TO BASE BUILDING EMERGENCY SYSTEM.
- PROTECT EXISTING CEILING SYSTEM AND LIGHT FIXTURE DURING CONSTRUCTION. CLEAN ALL LIGHT FIXTURES UPON COMPLETION.
- NOMINATED MECHANICAL AND ELECTRICAL SUB CONTRACTORS TO REPLACE ANY DAMAGED TILES WITH NEW TILES AND RELOCATE EXISTING TILES IN AREAS AFFECTED BY THEIR WORK.
- REUSE EXISTING LIGHT SWITCHES WHERE POSSIBLE. ENSURE SUFFICIENT SWITCHES ARE PROVIDED IN OPEN OFFICE AREAS. PROVIDE SEPARATE LIGHT SWITCH FOR NEW DOWNLIGHTS AND WALL SCONCES.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWING.
- ALL NEW DRYWALL CEILINGS (UNLESS OTHERWISE SPECIFIED) TO BE 1/2" THICK USG DRYWALL FIXED TO GALVANIZED STEEL FRAMING. TAPE, FILL AND SAND READY FOR PAINT FINISH.
- ANY PROPOSED CHANGES AND/OR MODIFICATIONS DUE TO FIELD CONDITIONS MUST RECEIVE APPROVAL FROM DESIGNER AND MEP CONSULTANTS.
- MECHANICAL SUBCONTRACTOR TO ARRANGE FOR AN INSPECTION AND BALANCING REPORT AFTER PROJECT COMPLETION. UPON COMPLETION, THE HVAC SYSTEM IS TO BE FULLY BALANCED TO THE SATISFACTION OF THE OWNER.
- ELECTRICAL CONTRACTOR TO SUBMIT CUT SHEETS ON ALL FIXTURES FOR DESIGNER/ARCHITECT REVIEW.
- ALL SWITCHES ON PARTITIONS TO BE MOUNTED VERTICALLY 8" FROM DOOR FRAME OR AS NOTED ON DRAWING.
- DIMENSIONS ARE FROM THE FACE OF THE WALL TO CENTER OF THE FIXTURE (U.O.N.). RECESSED DOWNLIGHTS ARE TO BE INSTALLED IN CENTER OF CEILING TILE UNLESS DIMENSIONED OTHERWISE.
- ALL FIRE DETECTORS AND DIFFUSERS MUST NOT BE WITHIN 3'-0" ON CENTRE OF EACH OTHER. CONTRACTOR TO COORDINATE W/FIRE ALARM TECHNICIAN.

## GENERAL DEMOLITION NOTES:

- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS IN THE EVENT THAT DISCREPANCIES ARE NOTED BETWEEN SITE CONDITIONS AND THE PROJECT DOCUMENTS.
- PROTECT EXISTING CONSTRUCTION AT PERIMETER WALLS, EXISTING FURRED COLUMNS AND AREAS ADJACENT TO DEMOLITION.
- WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, PREP SUBSURFACES AND ADJACENT SURFACES AS REQ'D FOR NEW CONSTRUCTION.
- SALVAGE (REMOVE & REUSE) EXISTING DOORS, FRAMES AND HARDWARE. SPARE DOORS AND HARDWARE TO BE TURNED OVER TO OWNER'S STOCK IF DESIRED.
- REFER TO MEP DRAWINGS FOR DEMOLITION SCOPE OF PLUMBING FIXTURES, ELECTRICAL AND HVAC ITEMS.
- EXISTING DUCTING TO BE ALTERED TO SUIT NEW LAYOUTS. (REFER TO MECHANICAL DRAWINGS)
- CO-ORDINATE FOR DISCONNECT AND RELOCATION OF EXISTING WALL MOUNTED FIRE/ SECURITY/ ELECTRICAL PANELS AS REQUIRED. (REFER TO ELECTRICAL DRAWINGS)
- ENSURE MINIMAL DISTURBANCE TO ANY OCCUPIED SPACE ADJACENT TO AREAS WHERE DEMOLITION OCCURS.
- USE OF ANY SOLVENT STRIPPERS TO OCCUR AFTER HOURS FOLLOWING PROPER VENTILATION PROCEDURES.
- REPAIR AND MAKE NEW ALL EXISTING SURFACES AFFECTED BY DEMOLITION WORK. FINISHES TO MATCH ADJACENT SURFACES U.N.O.
- CONTRACTOR TO ENSURE GOVERNMENT ITO DATA SERVICE PROVIDERS HAVE ACCESS TO THE SITE FOR THE ENTIRE DURATION OF WORKS. ATTENDANCE TO BE INCLUDED IN CONTRACTORS BID PRICE.

## GENERAL DRAWING LEGEND:



## MINISTRY OF PUBLIC WORKS

### ARCHITECTS SECTION

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ISSUE / REVISION		
No.	Description	Date:
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1	Issued for Planning Appr.	FEBRUARY 2016

SCALE: AS NOTED

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Checked By:	Date:	
AM	SEPTEMBER 2015	

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Prepared By:	Date:	
SS	SEPTEMBER 2015	
Checked By:	Date:	
AM	SEPTEMBER 2015	

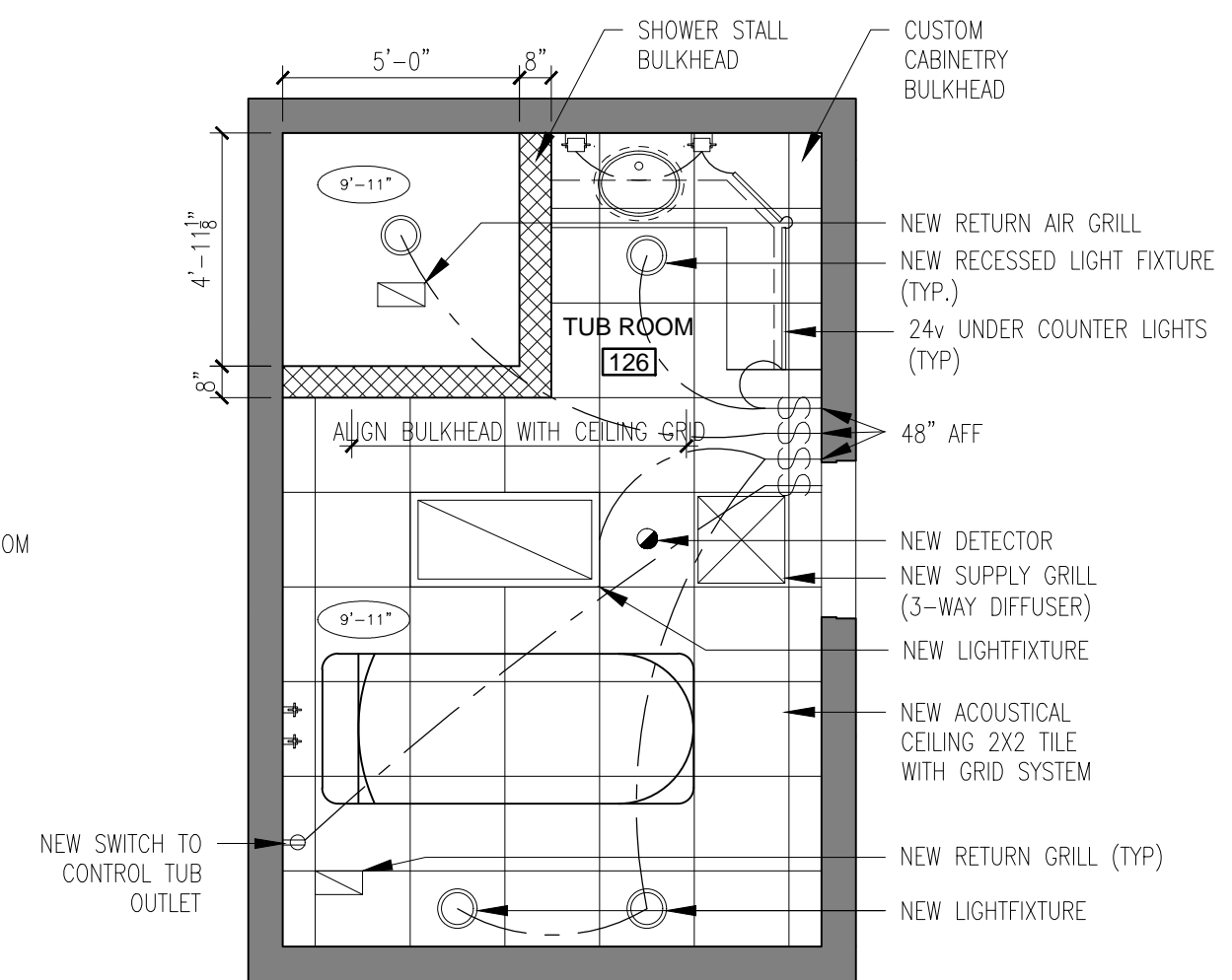
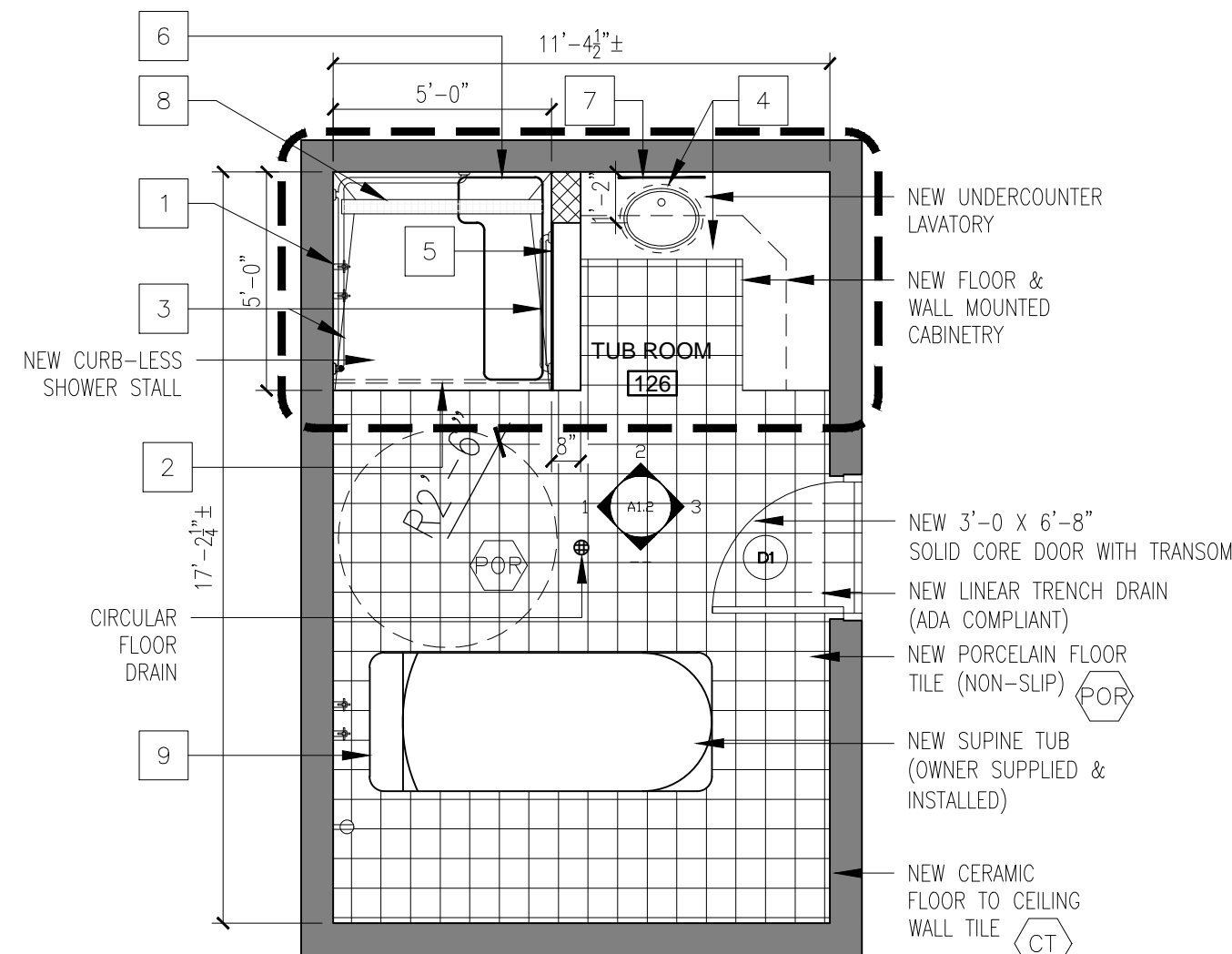
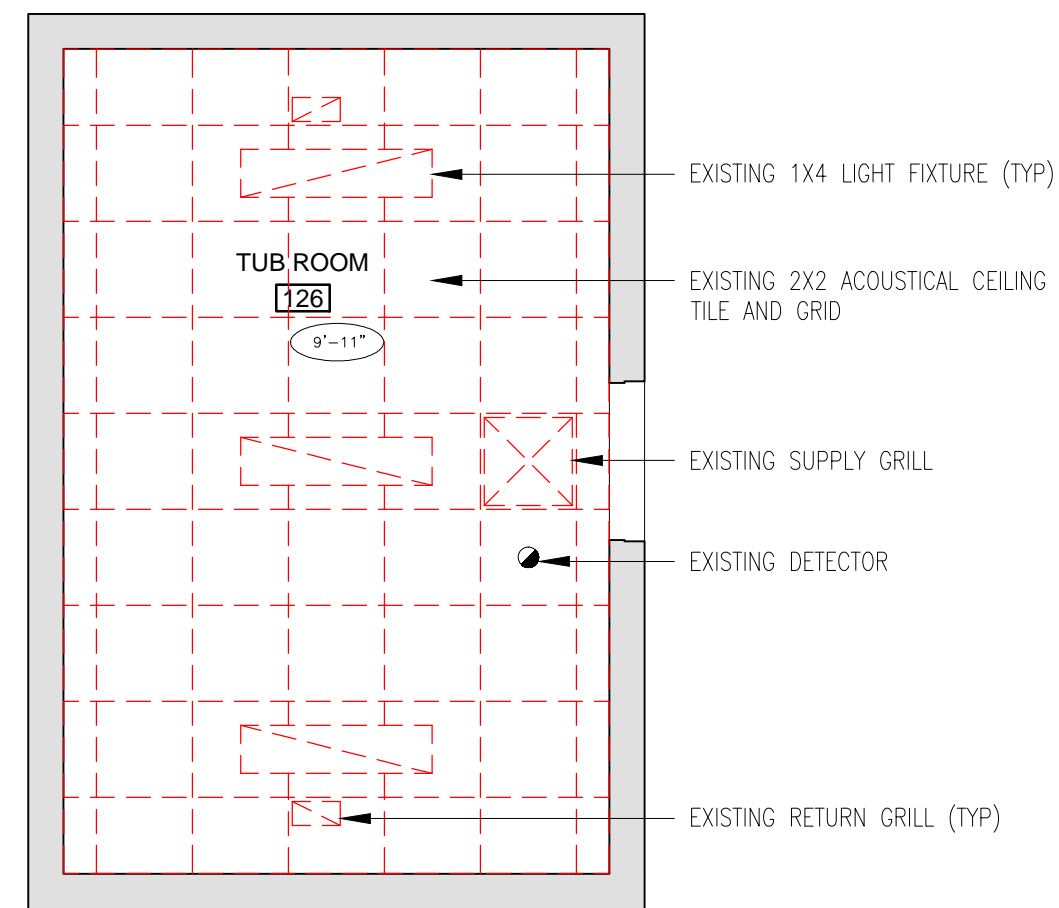
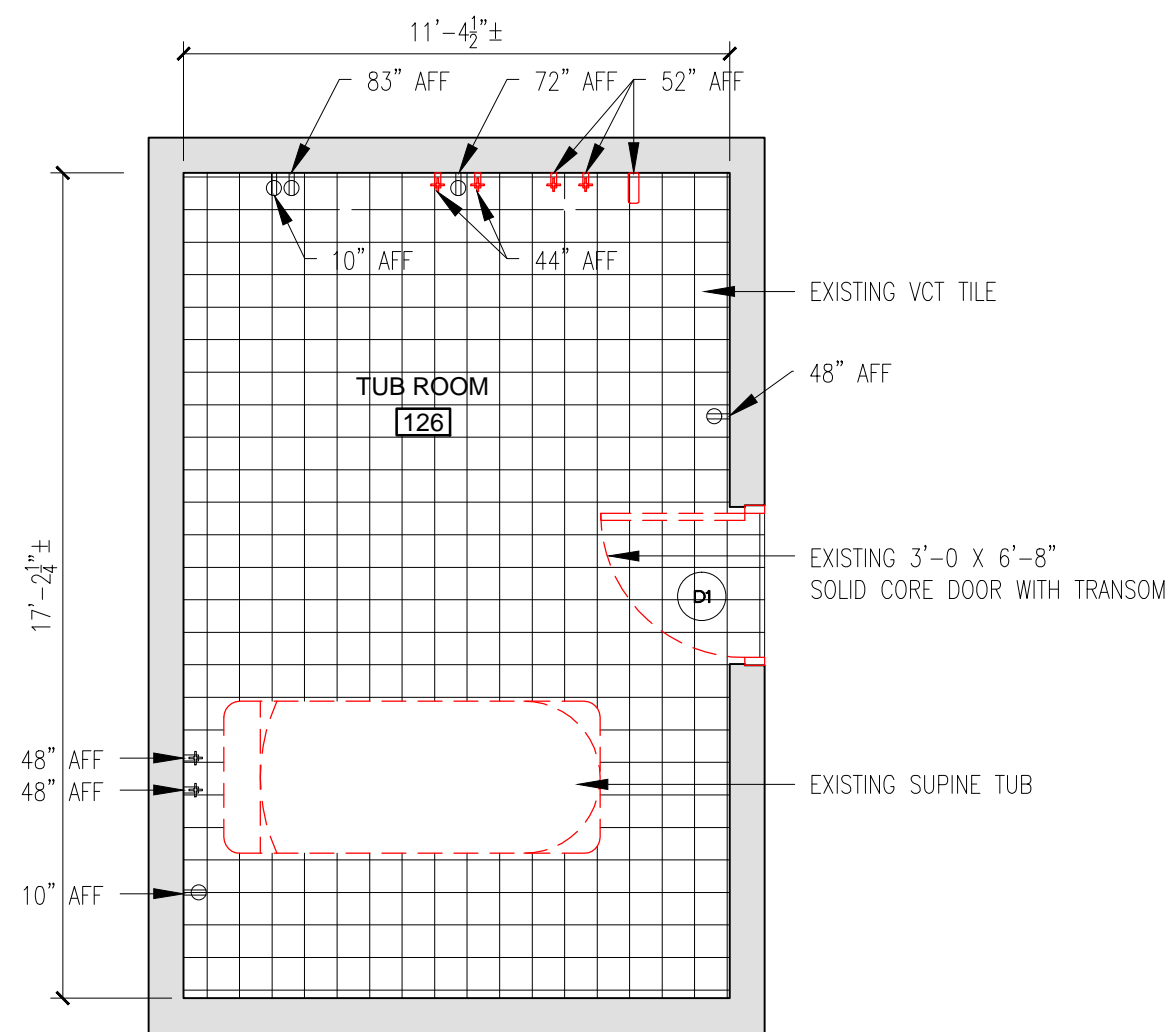
Approved By: -

Project Number: 36.217.57

Project Title: WASHROOM REFURBISHMENTS (AREA-C) & (AREA-A)

LEFROY HOUSE CARE COMMUNITY  
IRELAND ISLAND SOUTH,  
#7 HEYDON ROAD,  
SANDY'S HAY,

Sheet Title: GENERAL NOTES



**1 EXISTING PARTIAL PLAN - DEMOLITION**  
A1.1 SCALE: 1/4" = 1'-0"

**2 EXISTING PARTIAL RCP - DEMOLITION**  
A1.1 SCALE: 1/4" = 1'-0"

**3 PROPOSED PARTIAL PLAN**  
A1.1 SCALE: 1/4" = 1'-0"

**4 PARTIAL REFLECTED CEILING PLAN**  
A1.1 SCALE: 1/4" = 1'-0"

**GENERAL DEMOLITION NOTES :**

1. INTERRUPTION OF SERVICES TO ANY PART OF THE BUILDING SHALL BE A TIME AND DATE AGREED UPON BY THE PROJECT MANAGER AND SHALL BE KEPT TO MINIMUM.
2. REMOVE ALL EXISTING BATHROOM FIXTURES
3. ALL SERVICES TO BE REMOVED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOOR OR CEILING IN COMPLIANT WITH APPLICABLE CODES. REFER TO ENGINEERS DRAWINGS.
4. ALL MATERIALS CONTAINING ASBESTOS AND IDENTIFIED FOR DEMOLITION SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AND WITH BERMUDA WATER CONSULTANTS LIMITED WRITTEN SPECIFICATION.
5. PROTECT ALL EXISTING WORK. ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION MUST BE REPAIRED/REPLACED BY THE GENERAL CONTRACTOR.
6. ANY DEMOLITION OCCURRING BEYOND THE SCOPE IDENTIFIED, MUST BE REFINISHED TO ORIGINAL CONDITION AT THE GENERAL CONTRACTORS EXPENSE.
7. THE GENERAL CONTRACTOR IS TO ENSURE THAT THE BUILDING AND ADJACENT SPACES HAVE MINIMUM TO NO INTERRUPTION WITH THE FOLLOWING SERVICES UNLESS NOTIFIED IN ADVANCE: LIFE SAFETY DEVICES, HVAC, ELECTRICAL POWER, PLUMBING, IT NETWORK, SECURITY AND LIGHTING.
8. REFER TO ENGINEERED ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES AND ITEMS TO BE REMOVED.

**DEMOLITION NOTES :**

- FLOORS:
1. REMOVE EXISTING TILE AND TILE ADHESIVE SUBSTRATE.
  2. MAKE GOOD EXISTING SLAB TO RECEIVE NEW DITRA SCHLUTER MEMBRANE AND PORCELAIN TILE.
  3. THE CONCRETE SLAB SHALL BE CLEAN, DRY (FREE FROM SURFACE AND SUB-SURFACE MOISTURE), SMOOTH AND LEVEL.
  4. ENSURE INTEGRITY OF EXISTING FLOOR DRAIN. FIT WITH NEW BRASS OR CHROME PLATED STRAINER.
  5. RENDER AS NECESSARY TO ENSURE DRAINAGE TO STRAINER.
  6. ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
  7. REMOVE AND RETURN TO THE CLIENT THE "SUPINE TUB"
- WALLS:
1. REMOVE ALL HARDWARE PROTRUSIONS AND DEVICES.
  2. CHECK FOR CRACKS AND VOIDS IN EXISTING SURFACE AND REPAIR AS NECESSARY.
  3. ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
  4. REMOVE BASEBOARDS
  5. REMOVE REDUNDANT ELECTRICAL AND PLUMBING LINES.
  6. REMOVE AND RETURN TO THE CLIENT WALL THE "MOUNTED SHOWER FAUCET UNIT"
  7. REMOVE AND RETURN TO THE CLIENT THE "ASSISTANT CALL BUZZER"
  8. REMOVE WITH CARE AND RETURN TO THE CLIENT ALL MILLWORK SECURED TO THE WALLS
- CEILING:
1. REMOVE EXISTING ACOUSTICAL CEILING GRID AND TILES
  2. REMOVE AND RETURN TO THE CLIENT THE EXISTING 1X4 LIGHT FIXTURES
- DOOR/FRAME & HARDWARE:
1. REMOVE EXISTING FINISH PAINT COAT. SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.
  2. REMOVE ALL LATCHES, FIXTURES AND HARDWARE PRIOR TO PAINTING

**DRAWING LEGEND :**

- EXISTING BASE BUILDING
- NEW CONSTRUCTION (INTERIOR WALLS SHALL BE 5/8" PLASTER)
- DEMOLITION
- DENOTES: CEILING HEIGHT
- DENOTES: FURNISHINGS & EQUIPMENT SPECIFICATIONS
- DENOTES: DOOR SYMBOL
- DENOTES: CERAMIC TILE
- DENOTES: PORCELAIN TILE
- DENOTES: PAINT FINISH

**GENERAL CONSTRUCTION NOTES :**

1. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL NOTIFY THE PROJECT MANAGER OF ANY SITE CONDITIONS OR FIELD DIMENSIONS WHICH MAY BE AT VARIANCE WITH THE DRAWINGS.
2. THIS DRAWING IS NOT TO BE SCALED.
3. PRIOR TO ORDERING OR FABRICATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FIELD DIMENSIONS.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MANUFACTURERS PLUMBING EQUIPMENT SPECIFICATIONS FOR REVIEW & APPROVAL.
5. THE CONTRACTOR SHALL INSTALL FLOOR DRAINS AT LOW POINTS OF THE SURFACE AREA TO BE DRAINED AND SHALL SET THE TOP OF THE DRAIN FLUSH WITH THE FINISH FLOOR.
6. ALL FURNISHINGS/EQUIPMENT/FIXTURES SHALL BE FASTENED SECURELY: LEVEL AND PLUMB TO INDICATED SUPPORTS OR BUILDING STRUCTURE.
7. ALL FURNISHINGS, FIXTURES AND EQUIPMENT IS TO BE INSTALLED PER THE MANUFACTURES SPECIFICATIONS.
8. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
9. NEW LIGHT SAFETY DEVICE INSTALLATIONS ARE TO BE COORDINATED WITH THE ELECTRICAL DRAWINGS/SPECIFICATIONS AND THE PROJECT MANAGER.
10. GENERAL CONTRACTOR TO REVIEW ALL MATERIALS SUPPLIED BY OWNER AND TO COORDINATE THE INSTALLATION.
11. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL OTHER ITEMS UNLESS SPECIFIED OTHERWISE.
12. ALL GENERAL CONTRACTORS MARKUPS AND OVERHEAD'S SHOULD BE INCLUDED IN THE COST.
13. THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCUMULATE, BUT SHOULD BE REMOVED AT REGULAR INTERVALS AND DISPOSED OF IN A LAWFUL MANNER.
14. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, ANY EXISTING PROPERTY, FEATURES, AND GOODS STORED ON SITE, AND ALL PROPERTY SURROUNDING THE SITE, FROM DAMAGE ARISING OUT OF THE WORKS.
15. ANY DAMAGED ARISING OUT OF THE WORKS SHOULD BE IMMEDIATELY MADE GOOD BY SKILLED TRADESMAN UNDER THE EMPLOYMENT OF THE CONTRACTOR.
16. THE GENERAL CONTRACTOR SHALL INSURE THAT THE SITE IS SAFE AND SECURE AT ALL TIMES TO PREVENT SENIOR CARE RESIDENCE FROM GAINING ACCESS.

**SYMBOL LEGEND :**

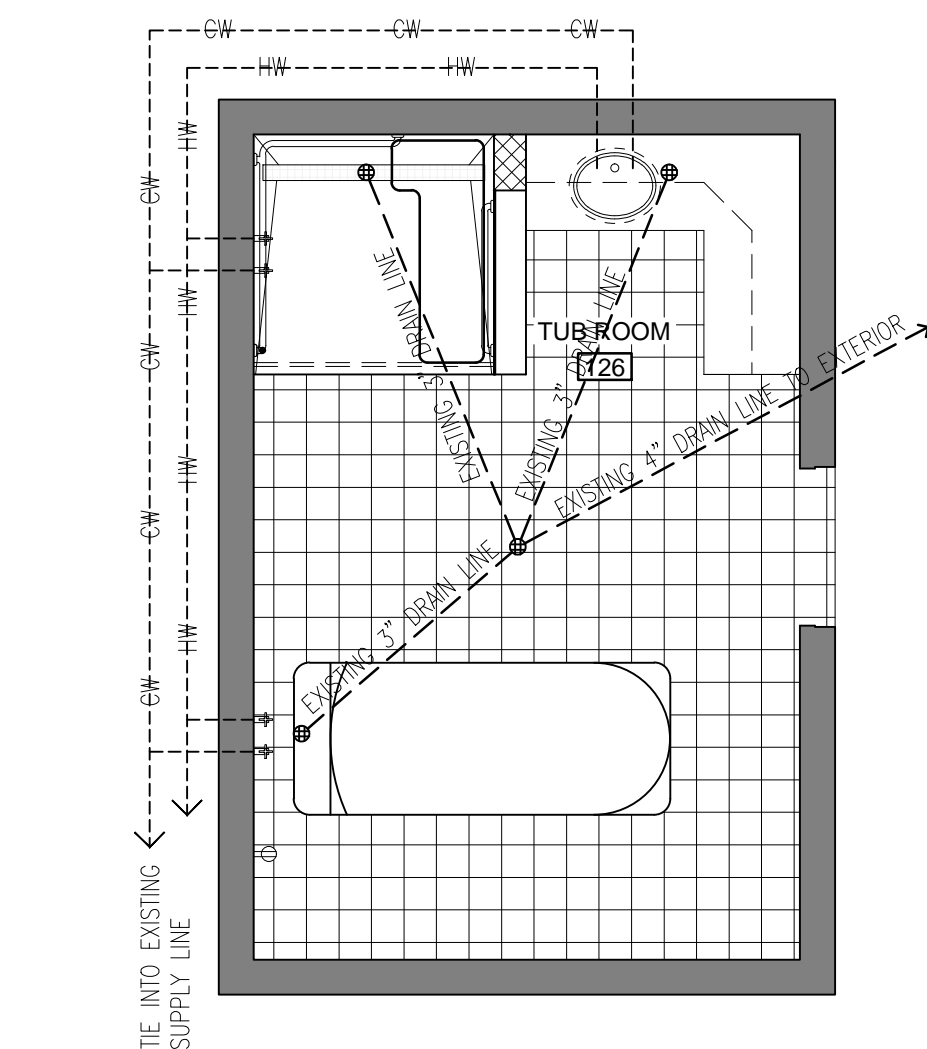
- EXISTING RECEPTACLE
- EXISTING FLOOR DRAIN
- EXISTING PLUMBING FIXTURE
- EXISTING PLUMBING PIPE PROTRUDING FROM THE WALL

**FURNISHINGS + EQUIPMENT SPECIFICATIONS :**

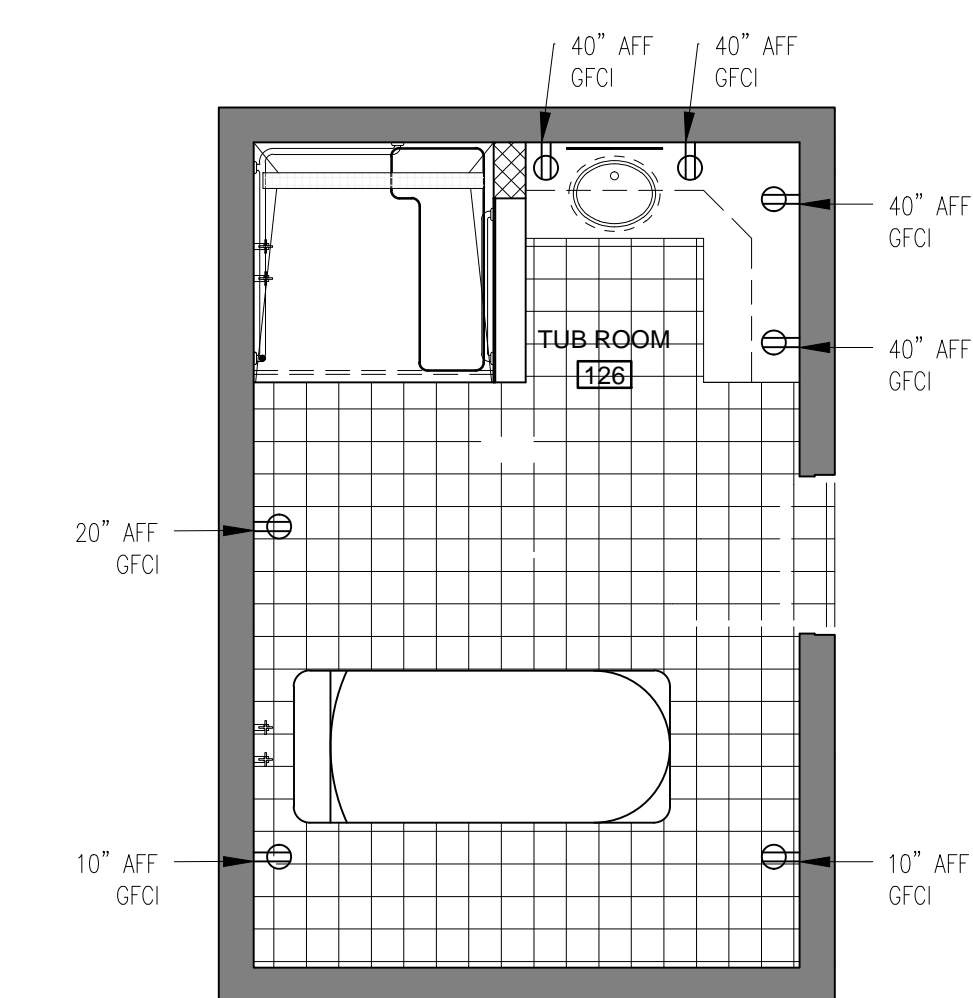
- GENERAL CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING U.N.O.:
1. SHOWER FAUCET (HOT & COLD SUPPLY)
    - 1.1. KOHLER HYDRO RAIL-S SHOWER COLUMN KIT (K-76471) SHOWER DRAIN
  2. SHOWER CURTAIN ROD
    - 2.1. ALUMINUM HOSPITAL GRADE CURTAIN TRACK SYSTEM (MIN. 1-3/8" BY 3/4")
    - 2.2. SNAP PANEL STYLE HOSPITAL CUBICLE CURTAINS
  3. GRAB BARS
    - 3.1. INSTALL 42"-48" GRAB BARS ON THE WALLS OF THE EXISTING TOILET STALL AND ONE 24" AT THE BACK OF THE STALL. SPECIFICATIONS: (OWNER SUPPLIED) BOBRICK (B-6806) SERIES
      - GRAB BAR DIAMETER (OR CROSS SECTION IF NON CIRCULAR) OF 1-1/4 TO 2" INCHES AND A CLEARANCE OF 1-1/2" BETWEEN THE GRAB BAR AND THE WALL
      - FINISH - BRUSH METAL
      - 42"-48" GRAB BARS
      - 24" GRAB BAR
      - 18" VERTICAL GRAB BAR
  4. COUNTER AND SINK
    - 4.1. KOHLER (K-2907-8U) THOREAU UNDER MOUNT BATHROOM SINK
    - 4.2. AVONITE SOLID SURFACE COUNTER
  5. SHOWER GLASS PANEL
    - 5.1. 1/2" THICK TEMPERED GLASS PRIVACY PANEL (FROSTED)
  6. REVERSIBLE SOLID PHENOLIC FOLDING SHOWER
    - 6.1 BOBRICK (B-5181) SERIES
  7. TILT MIRROR WITH STAINLESS STEEL FRAME
    - 7.1 BOBRICK (B-293) SERIES
  8. SHOWER DRAIN
    - 8.1 STAINLESS STEEL SCHLUTER KERDI LINE RECTANGULAR DRAIN
- OWNER TO SUPPLY AND INSTALL THE FOLLOWING:
9. (1) SUPINE TUB
    - \*THE GENERAL CONTRACTOR IS TO SUPPLY ALL SPECIFIED ITEMS OR APPROVED EQUAL

**DOOR SCHEDULE :**

- DOOR - D1:
  1. REINSTALLED EXISTING LATCHES, FIXTURES AND HARDWARE ARE IN ADDITION TO BEING CLEANED/POLISHED.
  2. APPLY SEMI-GLOSS ALKYD ENAMEL PAINT MIN. (2) COATS COVER



**5 PROPOSED PARTIAL PLUMBING PLAN - SCHEMATIC**  
A1.1 SCALE: 1/4" = 1'-0"

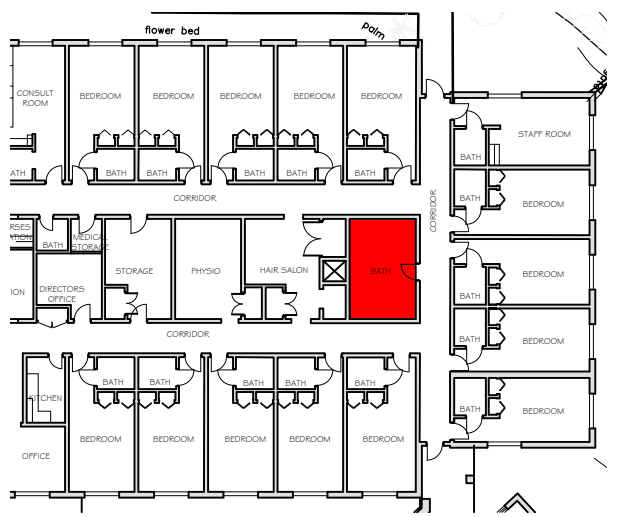
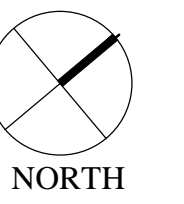


**6 PROPOSED PARTIAL ELECTRICAL PLAN - POWER**  
A1.1 SCALE: 1/4" = 1'-0"

**MINISTRY OF PUBLIC WORKS**

**ARCHITECTS SECTION**

P.O. Box HM 525 Hamilton HMCX Bermuda  
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**KEY PLAN**

**ISSUE / REVISION**

No.	Date:
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1	Issued for Planning Appr. FEBRUARY 2016

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Prepared By: MPW Date: UNKNOWN

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LB Date: JANUARY 2015

**DRAWING**

Prepared By: SS Date: DECEMBER 2015

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AM Date: JANUARY 2015

**Approved By:**

Project Number:  
36.217.57.

**Project Title:**

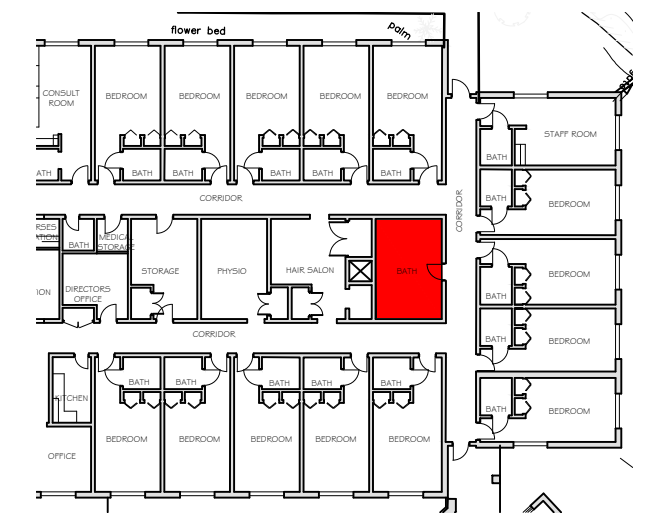
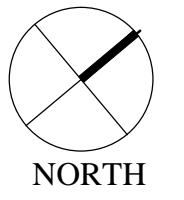
**TUB ROOM REFURBISHMENT (AREA-C)**

LEFROY HOUSE CARE COMMUNITY  
IRELAND ISLAND SOUTH,  
#7 HEYDON ROAD,  
SANDY'S MARI,

Sheet Title:  
**FLOOR PLANS & GENERAL NOTES**

Revisions: Sheet Number:

**A1.1**



**KEY PLAN**

**ISSUE / REVISION**

No.	Date:
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SCALE: AS NOTED

**SURVEY**

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**DESIGN**

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**DRAWING**

Prepared By: SS Date: DECEMBER 2015

**Checked By:**

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**Approved By:**

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**Project Number:**

3621737

**Project Title:**

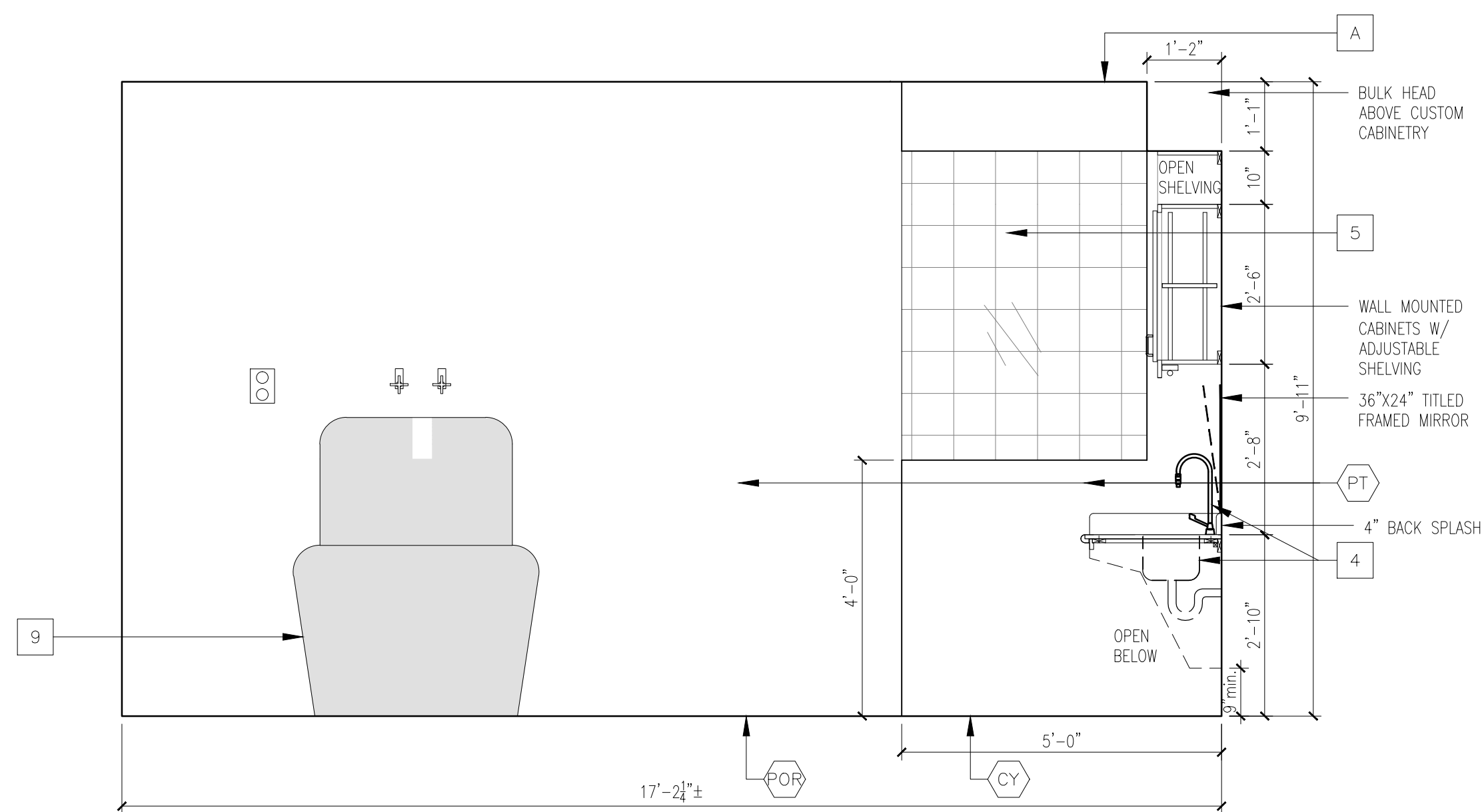
**TUB ROOM REFURBISHMENT  
(AREA-C)**

LEFROY HOUSE CARE COMMUNITY  
IRELAND ISLAND SOUTH,  
#7 HEYDON ROAD,  
SANDY'S MARI,

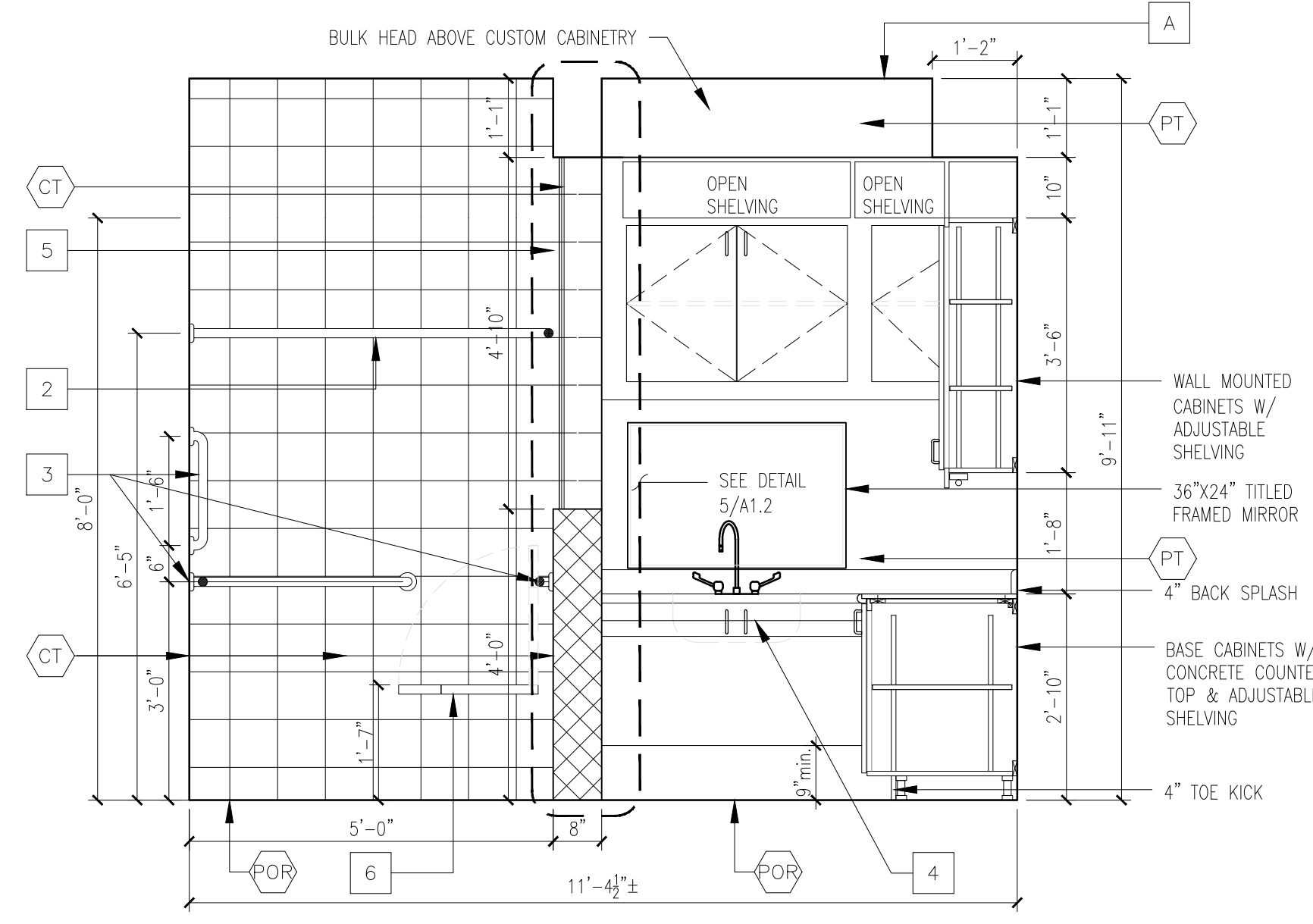
Sheet Title:  
**INTERIOR ELEVATION AND  
ENLARGED SHOWER STALL &  
CABINETS DETAILS**

Revisions: Sheet Number:

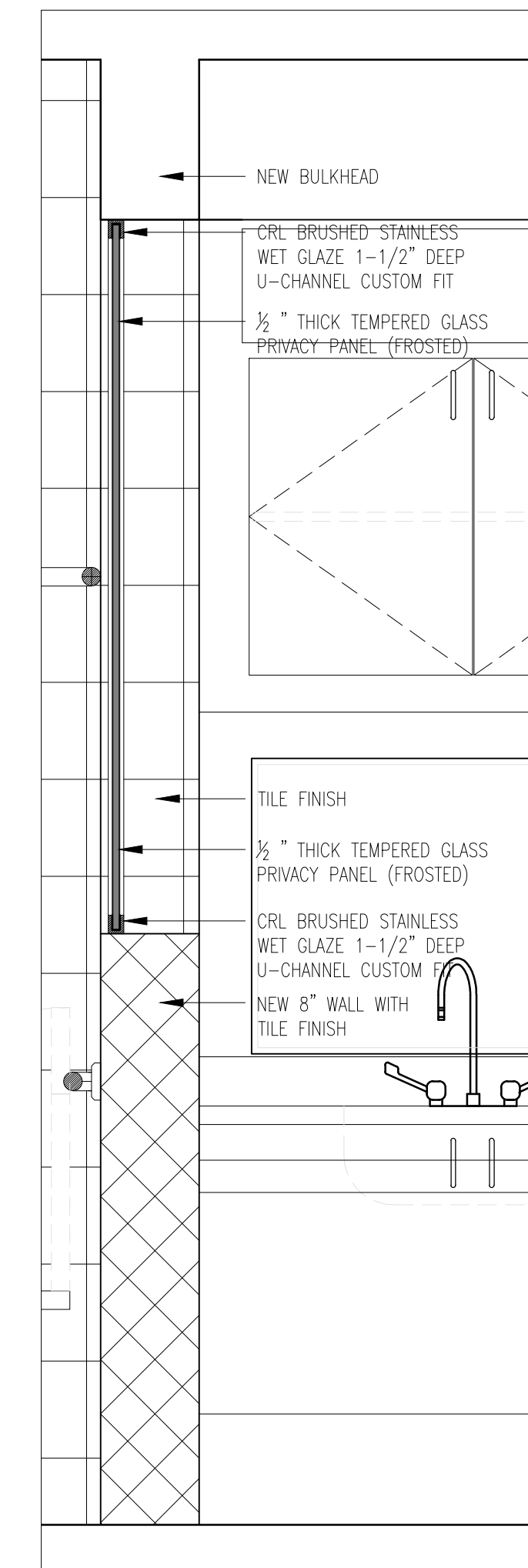
**A1.2**



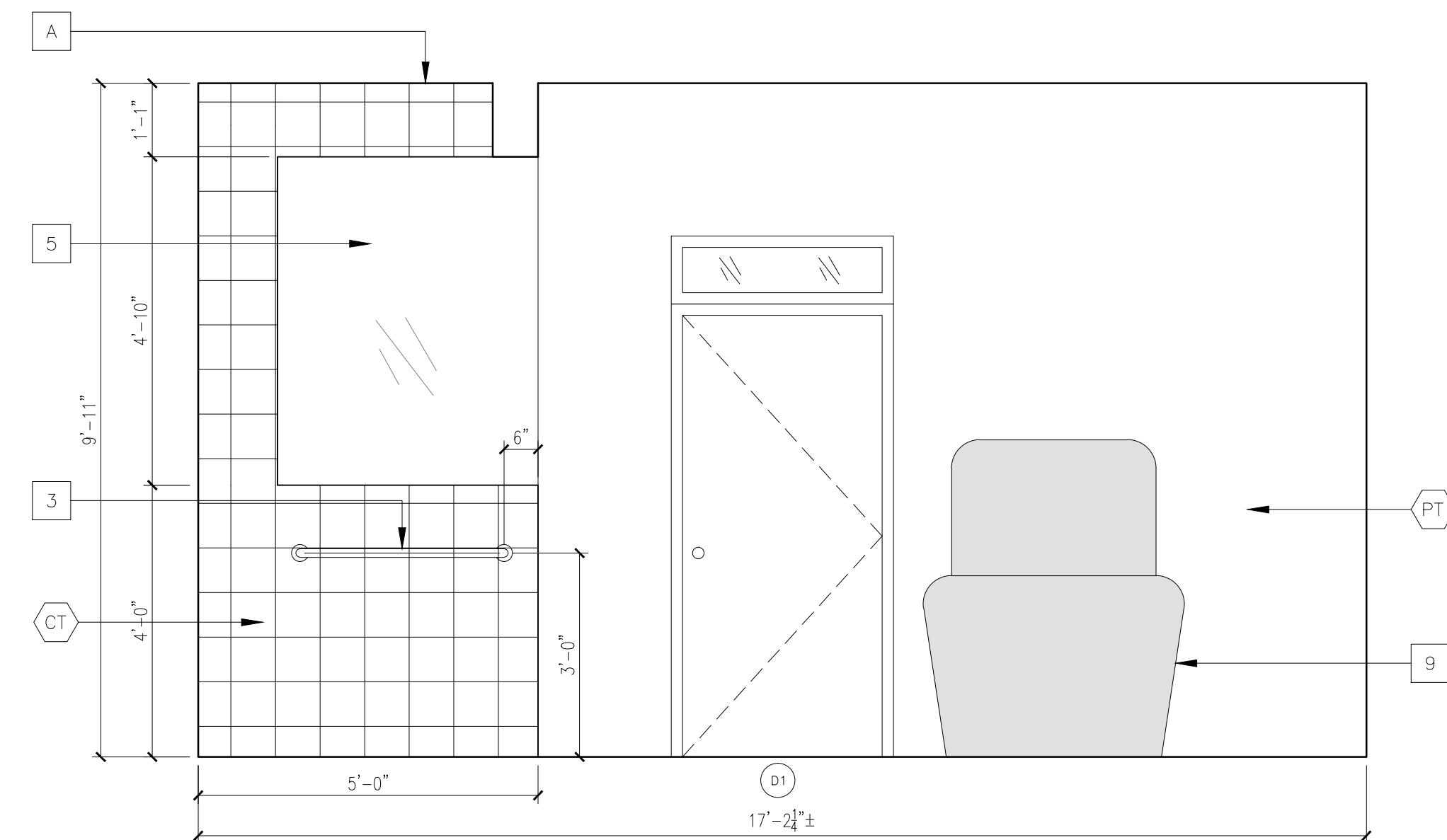
**1 INTERIOR ELEVATION - TUB ROOM**  
A1.2 SCALE: 1/2" = 1'-0"



**2 INTERIOR ELEVATION - TUB ROOM**  
A1.2 SCALE: 1/2" = 1'-0"



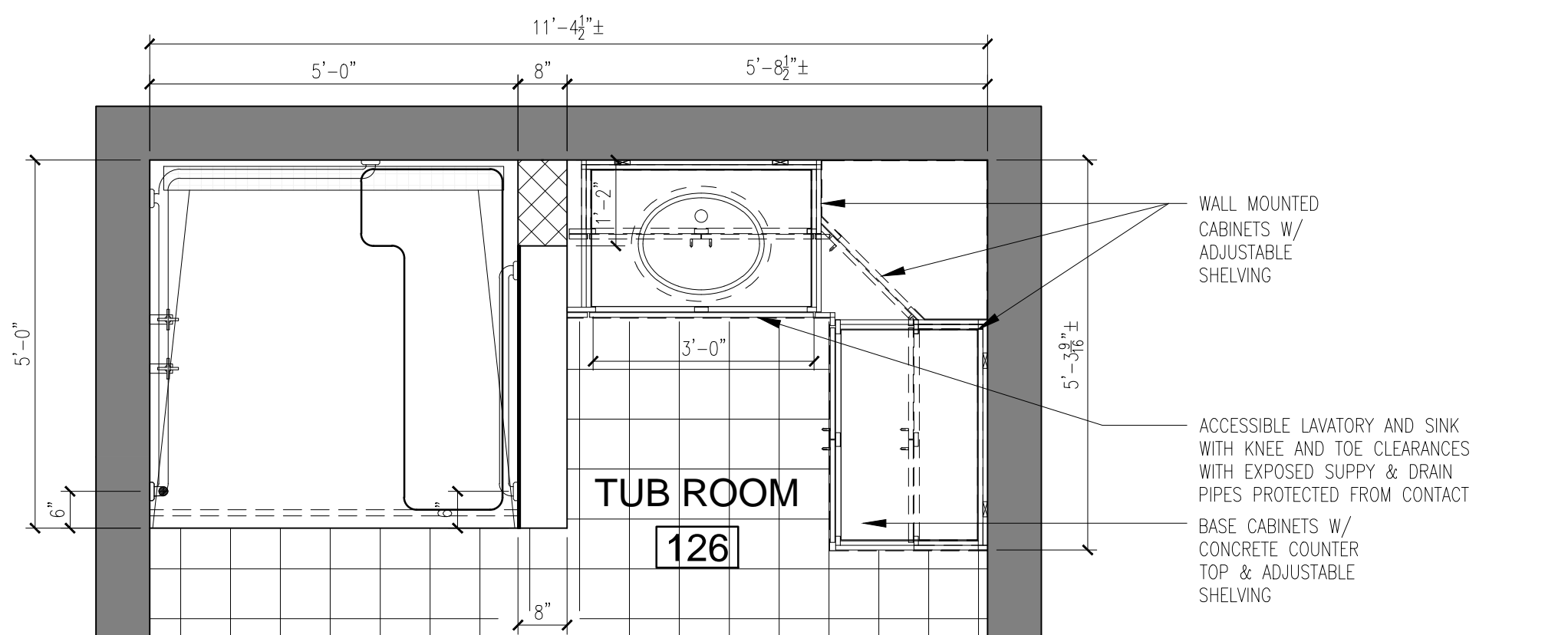
**5 SHOWER GLASS DETAIL**  
A1.2 SCALE: 1" = 1'-0"



**3 INTERIOR ELEVATION - TUB ROOM**  
A1.2 SCALE: 1/2" = 1'-0"

**GENERAL CONSTRUCTION NOTES :**

- MILLWORK NOTES:**
- CONCEALED HINGES REQUIRED
  - 3/4" PLYWOOD SHELVES SHALL RECEIVE PLASTIC LAMINATE VENEER
  - ALL ADJUSTABLE SHELVES TO BE ON HIDDEN ADJUSTABLE SELF PINS AND GOURMETS
  - ALL CONSTRUCTED UNITS TO BE MADE WITH 3/4" PLYWOOD AND SHALL RECEIVE PLASTIC LAMINATE VENEER
  - CABINETS ARE SHOP FABRICATED IN UPPER & LOWER BOX SECTION TO FACILITATE FIELD INSTALLATION.
  - MILLWORK SHALL BE PROVIDED WITH WOOD BLOCKS AND BRACES FASTENED IN PLACES NECESSARY TO ASSURE STURDY RIGID CONSTRUCTION
  - MILLWORK TO BE SECURED TIGHTLY TO EXISTING WALLS
  - HINGES: CONCEALED AND SELF CLOSING
  - DRAWER GUIDES: EXTENSION ACCURID GUIDE AND SELF CLOSING
  - 5" CONTEMPORARY STAINLESS STEEL HANDLE PULL'S
  - SOLID SURFACE COUNTER TOPS TO HAVE A 1/2" BULL NOSING



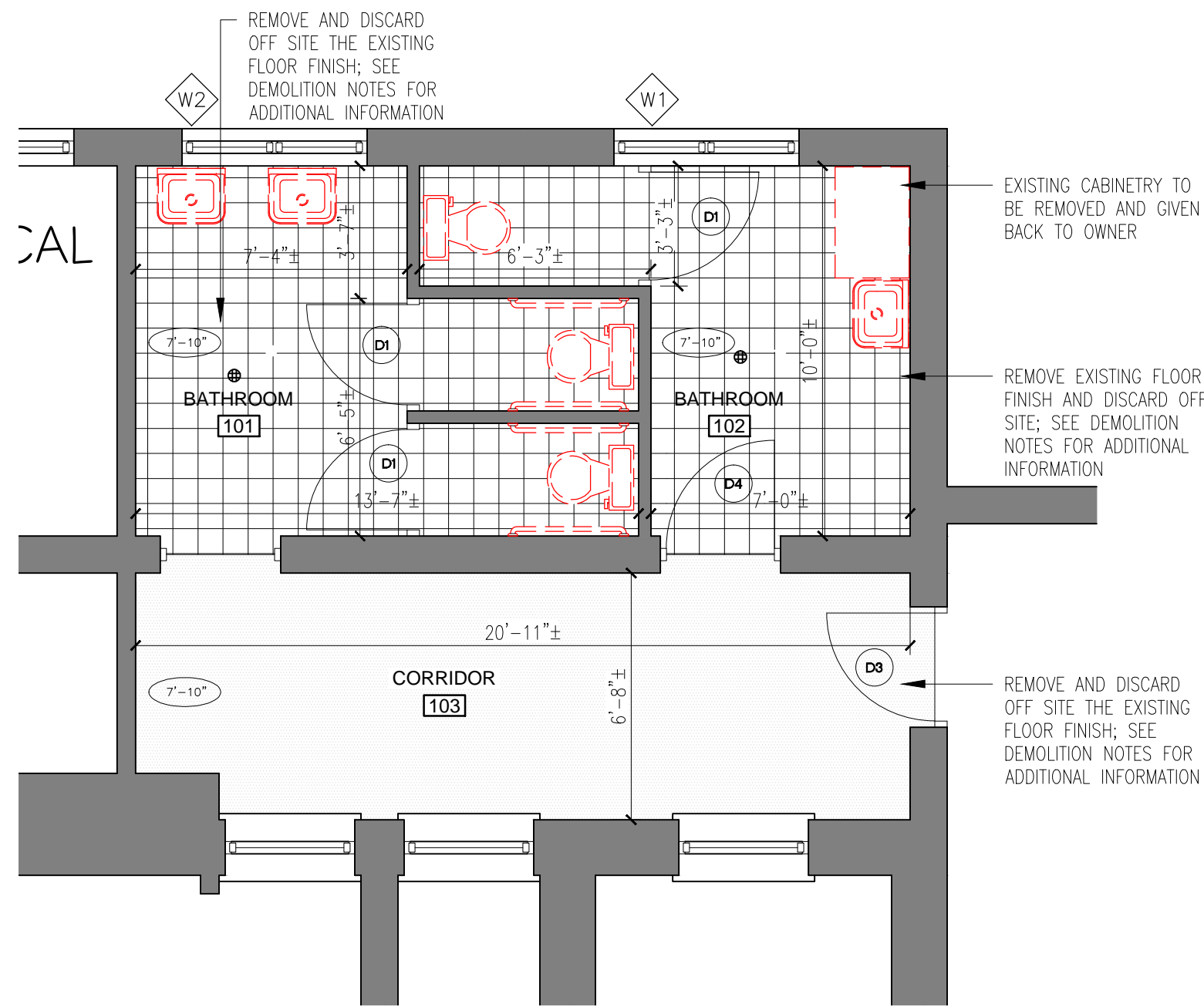
**4 ENLARGED INTERIOR PLAN**  
A1.2 SCALE: 1/2" = 1'-0"

**ROOM FINISH SCHEDULE**

ROOM NAME	ROOM #	DENOTATION	FLOOR	DENOTATION	WALLS	DENOTATION	CEILING		NOTES
							MATERIAL	HEIGHT	
TUB ROOM	126	FOR	PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT; METAL TRANSITION STRIPS	PT	PRIME AND PAINT	A	(2) COATS OF PAINT	9'-11"	5/8" XP GYPSUM BOARD; GYP. BRD TO BE MOLD/MOISTURE/MELDEW RESISTANT AND PLASTERED & PAINTED
TUB ROOM (SHOWER ENCLOSURE)	126	FOR	PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT	CT	CT1; CERAMIC WALL TILE; VINYL EDGE STRIPS; EPOXY GROUT LINES;	A	ACOUSTICAL CEILING	9'-0"	CEILING: 2X2 ARMSTRONG BEVELLED REGULAR (FIRE GUARD AND HUMIGUARD) OR APPROVED EQUAL W/ FIRE-RATED CEILING ASSEMBLY (TYPICAL) MOLD/MOISTURE/MELDEW RESISTANT
TUB ROOM (SHOWER ENCLOSURE)	126	FOR	PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT	CT	CT1; CERAMIC WALL TILE; VINYL EDGE STRIPS; EPOXY GROUT LINES;	A	(2) COATS OF PAINT	VARIES	5/8" XP GYPSUM BOARD; GYP. BRD TO BE MOLD/MOISTURE/MELDEW RESISTANT AND PLASTERED & PAINTED

**NOTES:**

- 1) STANDARD TILE LAYOUT PATTERN TO INCORPORATE 1/8" GROUT LINES (FLOOR/WALL)
- 2) FLOOR MEMBRANE - DITRA SCHLUTER MEMBRANE
- 3) INSTALL NEW NON-SLIP PORCELAIN TILE (TILE LAYOUT SHALL BE SYMMETRICAL, BEGINNING AT THE CORNER AXES OF THE SPACE) WITH 1/8" STRAIGHT & EVEN GROUT LINES; THIN-SET ADHESIVE AND GROUT SHALL BE PER MANUFACTURERS SPECIFICATIONS FOR AREAS EXPOSED TO WATER
- 4) METAL TRANSITION STRIPS - NO MORE THAN 1/2" HEIGHT DIFFERENCE FOR FINISH FLOOR HEIGHTS
- 5) FLOOR TO CEILING WALL TILE WERE SPECIFIED
- 6) APPLY PRIMER AND PAINT ON ALL EXPOSED WALLS UNLESS OTHERWISE SPECIFIED
- 7) PRIMER - CONCRETE & MASONRY SEALER
- 8) WALL PAINT - SHERWIN WILLIAMS, HARMONY INTERIOR LATEX - SENIOR LIVING COLOR (OR APPROVED EQUAL); EGG SHELL FINISH; COLOR TO BE DETERMINED
- 9) CEILING PAINT - ROLL-A-TEX (FINE) OR SANDEX WHITE (OR APPROVED EQUAL)
- 10) ALL EXISTING WOODEN DOORS/FRAMES AND TRIM TO BE SANDED WITH 2 COATS OF FINISH PRO-INDUSTRIAL ACRYLIC PAINT (SEMI-GLOSS)



1 EXISTING PARTIAL PLAN - DEMOLITION  
A13 SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND :

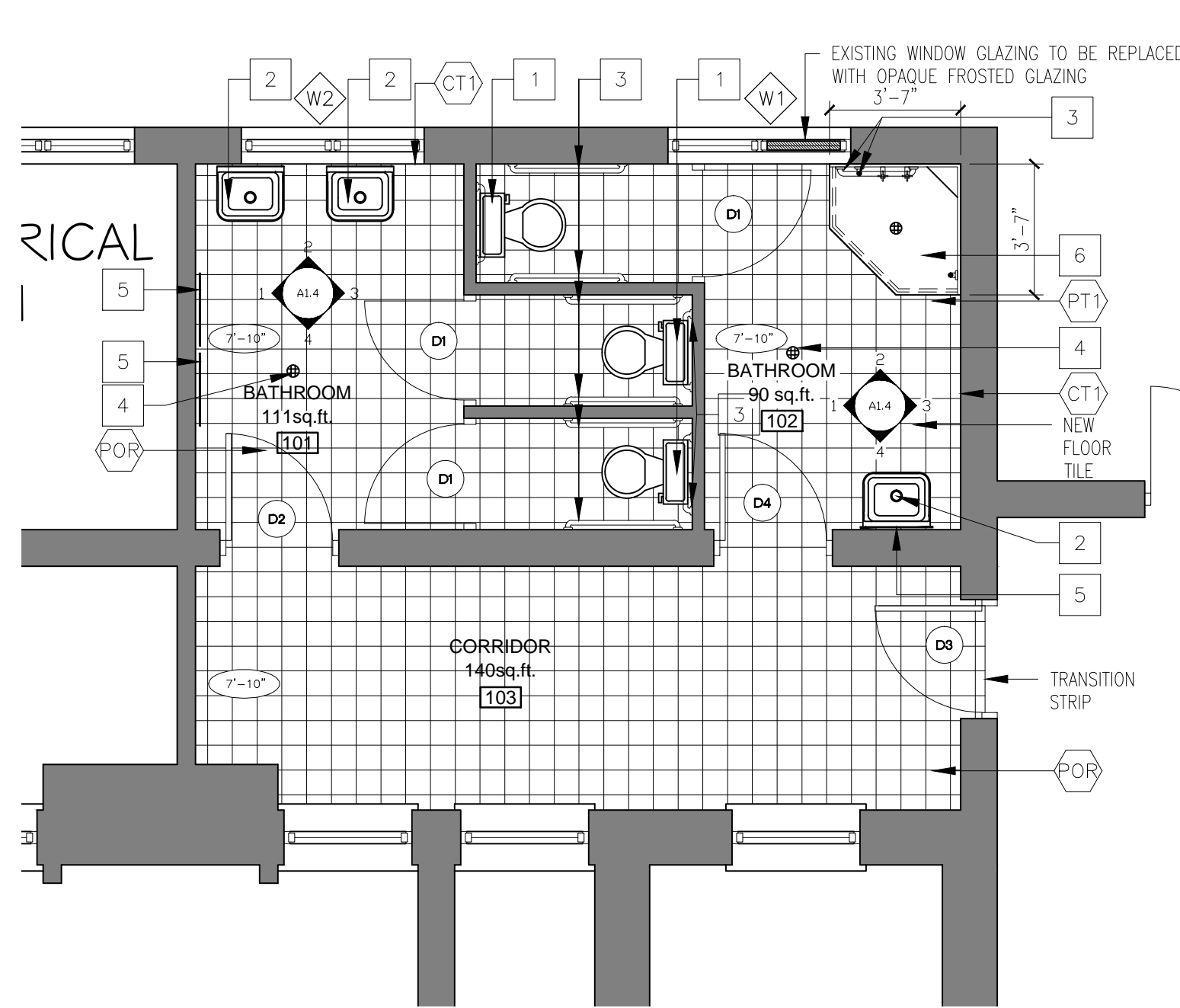
- EXISTING BASE BUILDING
- EXISTING WALLS TO BE DEMOLISHED
- EXISTING DOOR/FRAME/HARDWARE TO BE REMOVED
- CEILING HEIGHT

GENERAL DEMOLITION NOTES :

- INTERRUPTION OF SERVICES TO ANY PART OF THE BUILDING SHALL BE A TIME AND DATE AGREED UPON BY THE PROJECT MANAGER AND SHALL BE KEPT TO MINIMUM.
- REMOVE ALL EXISTING BATHROOM FIXTURES
- ALL SERVICES TO BE REMOVED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOOR OR CEILING IN COMPLIANT WITH APPLICABLE CODES. REFER TO ENGINEERS DRAWINGS.
- ALL MATERIALS CONTAINING ASBESTOS AND IDENTIFIED FOR DEMOLITION SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AND WITH BERMUDA WATER CONSULTANTS LIMITED WRITTEN SPECIFICATION.
- PROTECT ALL EXISTING WORK. ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION MUST BE REPAIRED/REPLACED BY THE GENERAL CONTRACTOR.
- ANY DEMOLITION OCCURRING BEYOND THE SCOPE IDENTIFIED, MUST BE REFINISHED TO ORIGINAL CONDITION AT THE GENERAL CONTRACTORS EXPENSE.
- THE GENERAL CONTRACTOR IS TO ENSURE THAT THE BUILDING AND ADJACENT SPACES HAVE MINIMUM TO NO INTERRUPTION WITH THE FOLLOWING SERVICES UNLESS NOTIFIED IN ADVANCE: LIFE SAFETY DEVICES, HVAC, ELECTRICAL POWER, PLUMBING, IT NETWORK, SECURITY AND LIGHTING.

DEMOLITION NOTES :

- FLOORS:
- REMOVE EXISTING TILE AND TILE ADHESIVE SUBSTRATE.
  - REMOVE AND DISCARD EXISTING CARPET AND UNDERLAY AND MAKE GOOD EXISTING SLAB TO RECEIVE NEW DITRA SCHLUTER MEMBRANE AND PORCELAIN TILE.
  - THE CONCRETE SLAB SHALL BE CLEAN, DRY (FREE FROM SURFACE AND SUB-SURFACE MOISTURE), SMOOTH AND LEVEL.
  - ENSURE INTEGRITY OF EXISTING FLOOR DRAIN. FIT WITH NEW BRASS OR CHROME PLATED STRAINER.
  - RENDER AS NECESSARY TO ENSURE DRAINAGE TO STRAINER.
  - ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
- WALLS:
- REMOVE EXISTING WALL TILE AND TILE ADHESIVE SUBSTRATE.
  - REMOVE ALL HARDWARE PROTRUSIONS AND DEVICES.
  - CHECK FOR CRACKS AND VOIDS IN EXISTING SURFACE AND REPAIR AS NECESSARY.
  - ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
- CEILING:
- CEILING SHALL BE CLEANED, DRY, LEVEL AND FREE FROM LOOSE OR OTHER MATERIAL WHICH MIGHT AFFECT THE BOND OF THE PAINT. ALL SURFACES SHALL BE THOROUGHLY CLEANED AND PREPARED IN AN APPROVED MANNER AS RECOMMENDED BY THE MANUFACTURERS.
- DOORS:
- EXISTING TOILET STALL DOORS AND FRAMES:
- REMOVE EXISTING FINISH PAINT COAT. SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.
  - REMOVE ALL LATCHES, FIXTURES AND HARDWARE PRIOR TO PAINTING
- EXISTING BATHROOM/CORRIDOR ENTRANCE DOORS AND FRAMES:
- REMOVE EXISTING FINISH PAINT COAT. SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.



2 PROPOSED PARTIAL PLAN  
A13 SCALE: 1/4" = 1'-0"

DRAWING LEGEND :

- EXISTING BASE BUILDING
- NEW CONSTRUCTION (INTERIOR WALLS SHALL BE 5/8" PLASTER)
- DENOTES: CEILING HEIGHT
- DENOTES: FURNISHINGS & EQUIPMENT SPECIFICATIONS
- DENOTES: DOOR SYMBOL
- DENOTES: CERAMIC TILE
- DENOTES: PORCELAIN TILE

GENERAL CONSTRUCTION NOTES :

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL NOTIFY THE PROJECT MANAGER OF ANY SITE CONDITIONS OR FIELD DIMENSIONS WHICH MAY BE AT VARIANCE WITH THE DRAWINGS.
- THIS DRAWING IS NOT TO BE SCALED.
- PRIOR TO ORDERING OR FABRICATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FIELD DIMENSIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MANUFACTURERS PLUMBING EQUIPMENT SPECIFICATIONS FOR REVIEW & APPROVAL.
- THE CONTRACTOR SHALL INSTALL FLOOR DRAINS AT LOW POINTS OF THE SURFACE AREA TO BE DRAINED AND SHALL SET THE TOP OF THE DRAIN FLUSH WITH THE FINISH FLOOR.
- ALL FURNISHINGS/EQUIPMENT/FIXTURES SHALL BE FASTENED SECURELY: LEVEL AND PLUMB TO INDICATED SUPPORTS OR BUILDING STRUCTURE.
- ALL FURNISHINGS, FIXTURES AND EQUIPMENT IS TO BE INSTALLED PER THE MANUFACTURES SPECIFICATIONS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- NEW LIGHT SAFETY DEVICE INSTALLATIONS ARE TO BE COORDINATED WITH THE ELECTRICAL DRAWINGS/SPECIFICATIONS AND THE PROJECT MANAGER.
- GENERAL CONTRACTOR TO REVIEW ALL MATERIALS SUPPLIED BY OWNER AND TO COORDINATE THE INSTALLATION.
- GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL OTHER ITEMS UNLESS SPECIFIED OTHERWISE.
- ALL GENERAL CONTRACTORS MARKUPS AND OVERHEAD'S SHOULD BE INCLUDED IN THE COST.
- THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCUMULATE, BUT SHOULD BE REMOVED AT REGULAR INTERVALS AND DISPOSED OF IN A LAWFUL MANNER.
- THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, ANY EXISTING PROPERTY, FEATURES, AND GOODS STORED ON SITE, AND ALL PROPERTY SURROUNDING THE SITE, FROM DAMAGE ARISING OUT OF THE WORKS.
- ANY DAMAGED ARISING OUT OF THE WORKS SHOULD BE IMMEDIATELY MADE GOOD BY SKILLED TRADESMAN UNDER THE EMPLOYMENT OF THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL INSURE THAT THE SITE IS SAFE AND SECURE AT ALL TIMES TO PREVENT SENIOR CARE RESIDENCE FROM GAINING ACCESS.

FURNISHINGS + EQUIPMENT SPECIFICATIONS :

GENERAL CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING:

- TOILETS & TOILET SEATS
  - REMOVE AND DISCARD THREE (3) EXISTING TOILETS
  - INSTALL THREE (3) NEW WHITE ADA COMPLIANT 2-PEACE TOILETS; (OWNER SUPPLIED)
    - KOHLER (K-5296-RA) HIGHLINE COMFORT HEIGHT, 2-PEACE TOILET, 1.28 GPF (OR APPROVED EQUAL) GENERAL CONTRACTOR TO CONFIRM THE EXISTING OFFSET DIMENSION PRIOR TO ORDERING.
    - KOHLER (K-4639) GRIP TIGHT CACHET TOILET SEAT (OR APPROVED EQUAL)
- SINKS
  - REMOVE AND DISCARD THE THREE (3) EXISTING SINKS & FAUCETS.
  - INSTALL THREE (3) NEW WHITE ADA COMPLIANT WALL MOUNTED SINKS & FAUCETS; (OWNER SUPPLIED)
    - KOHLER (K-2035-8) WALL MOUNTED SINK WITH 8-INCH CENTERS (OR APPROVED EQUAL)
    - KOHLER (K-11076-4) WIDESPREAD BATHROOM SINK FAUCET (OR APPROVED EQUAL)
- GRAB BARS
  - INSTALL 42"-48" GRAB BARS ON THE WALLS OF THE EXISTING TOILET STALL AND ONE 24" AT THE BACK OF THE STALL.
  - SPECIFICATIONS: (OWNER SUPPLIED) BOBRICK (B-6806) SERIES
    - GRAB BAR DIAMETER (OR CROSS SECTION IF NON CIRCULAR) OF 1-1/4 TO 2" INCHES AND A CLEARANCE OF 1-1/2" BETWEEN THE GRAB BAR AND THE WALL
    - FINISH - BRUSH METAL
    - 42"-48" GRAB BARS
    - 24" GRAB BAR
    - 18" VERTICAL GRAB BAR
- STAINLESS STEEL SCHLUTER KERDI AREA DRAIN
  - 6" AREA DRAIN (ADJUSTABLE TOP)
  - PERFORATED LIGHT DUTY 12 GAUGE GRATE
- MIRROR
  - INSTALL TWO (2) GLASS MIRRORS WITH STAINLESS STEEL ANGLE FRAMES
    - BOBRICK (B-290) SERIES (OR APPROVED EQUAL)
- SHOWER INCLOSURE KIT
  - NEW CORNER WALK-IN SHOWER (CURBLESS)
    - KOHLER HYDRO RAIL-S SHOWER COLUMN KIT (K-76471)

OWNER TO SUPPLY AND INSTALL THE FOLLOWING:

- PAPER TOWEL DISPENSER:
  - TOILET TISSUE DISPENSER:
  - SANITARY NAPKIN DISPENSER:
  - SOAP DISPENSER:
- \*THE GENERAL CONTRACTOR IS TO SUPPLY ALL SPECIFIED ITEMS OR APPROVED EQUAL

DOOR SCHEDULE :

- D1** DOOR - D1:
- REINSTALLED EXISTING LATCHES, FIXTURES AND HARDWARE ARE TO BE CLEANED/POLISHED.
  - APPLY SEMI-GLOSS ALKYD ENAMEL PAINT MIN. (2) COATS COVER
- D2** DOOR - D2:
- SUPPLY AND INSTALL NEW SOLID CORE WOOD DOOR TO FIT WITHIN EXISTING DOOR FRAME
  - SUPPLY AND INSTALL NEW HARDWARE HINGES AND PASSAGE LOCK SET.
  - APPLY (1) COAT OF PRIMER/UNDERCOAT AND MINL. (2) COATS OF SEMI-GLOSS ALKYD ENAMEL PAINT TO THE NEW SOLID CORE WOOD DOOR/FRAME.
- D3** DOOR - D3:
- APPLY MIN. (2) COATS OF SEMI-GLOSS ALKYD ENAMEL PAINT TO THE EXISTING DOOR/FRAME
- D4** DOOR - D4:
- APPLY MIN. (2) COATS OF SEMI-GLOSS ALKYD ENAMEL PAINT TO THE EXISTING DOOR/FRAME
  - SUPPLY AND INSTALL NEW PASSAGE LOCK SET
  - CHANGE DOOR SWING

ROOM FINISH SCHEDULE

ROOM NAME	ROOM #	DENOTATION	FLOOR	DENOTATION	WALLS	CEILING		NOTES
						MATERIAL	HEIGHT	
WASHROOM	101		PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT		CT1: CERAMIC WALL TILE; VINYL EDGE STRIPS; EPOXY GROUT LINES;	(2) COATS OF PAINT	VARIES	ALL EXPOSED WALLS TO BE PAINTED; WALL BEHIND SINK TO BE TILED FROM FLOOR TO CEILING
WASHROOM	102		PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT		CT1: CERAMIC WALL TILE; VINYL EDGE STRIPS; EPOXY GROUT LINES;	(2) COATS OF PAINT	VARIES	ALL EXPOSED WALLS TO BE PAINTED; WALL BEHIND SINK TO BE TILED FROM FLOOR TO CEILING
CORRIDOR	103		PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT; METAL TRANSITION STRIPS		PRIMER AND PAINT	(2) COATS OF PAINT	VARIES	ALL EXPOSED WALLS TO BE PAINTED

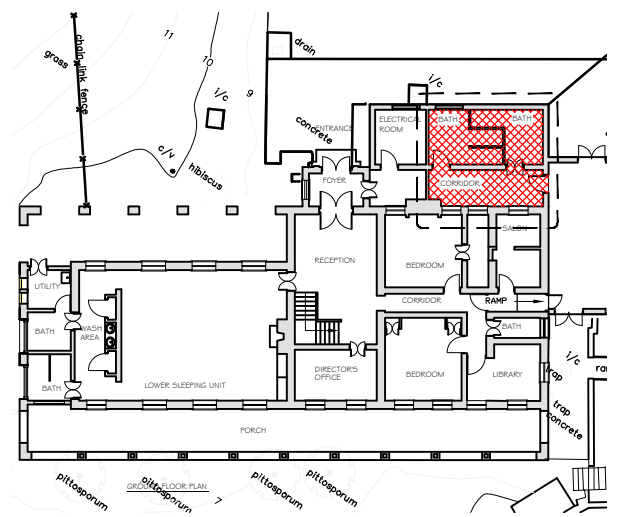
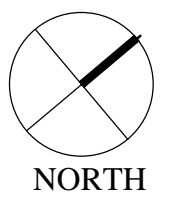
NOTES:

- STANDARD TILE LAYOUT PATTERN TO INCORPORATE 1/8" GROUT LINES (FLOOR/WALL)
- FLOOR MEMBRANE - DITRA SCHLUTER MEMBRANE
- INSTALL NEW NON-SLIP PORCELAIN TILE (TILE LAYOUT SHALL BE SYMMETRICAL, BEGINNING AT THE CORNER AXES OF THE SPACE) WITH 1/8" STRAIGHT & EVEN GROUT LINES; THIN-SET ADHESIVE AND GROUT SHALL BE PER MANUFACTURERS SPECIFICATIONS FOR AREAS EXPOSED TO WATER
- METAL TRANSITION STRIPS - NO MORE THAN 1" HEIGHT DIFFERENCE FOR FINISH FLOOR HEIGHTS
- WALL TILE TO TERMINATE 52" ABOVE THE FINISH FLOOR WERE SPECIFIED
- APPLY PRIMER AND PAINT ON ALL EXPOSED WALLS UNLESS OTHERWISE SPECIFIED
- PRIMER - CONCRETE & MASONRY SEALER
- WALL PAINT - SHERWIN WILLIAMS, HARMONY INTERIOR LATEX - SENIOR LIVING COLOR (OR APPROVED EQUAL); EGG SHELL FINISH; COLOR TO BE DETERMINED
- CEILING PAINT - ROLL-A-TEX (FINE) OR SANDEX WHITE (OR APPROVED EQUAL)
- ALL EXISTING WOODEN DOORS/FRAMES AND TRIM TO BE SANDED WITH 2 COATS OF FINISH PRO-INDUSTRIAL ACRYLIC PAINT (SEMI-GLOSS)

MINISTRY OF PUBLIC WORKS

ARCHITECTS SECTION

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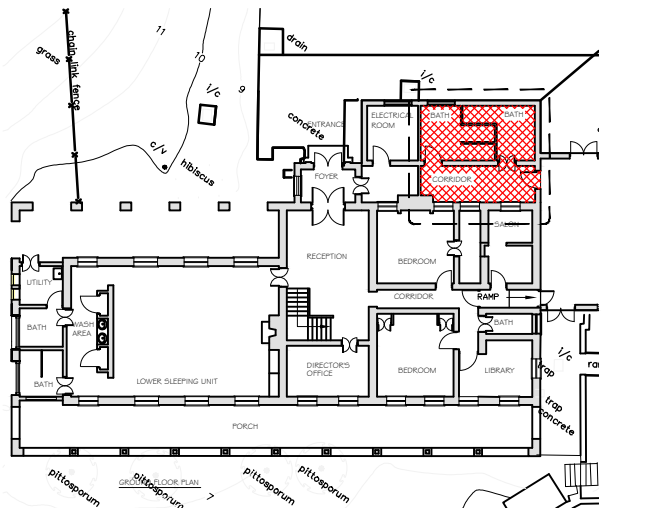
WASHROOM REFURBISHMENT (AREA-A)

LEFROY HOUSE CARE COMMUNITY  
IRELAND ISLAND SOUTH,  
#7 HEYDON ROAD,  
SANDY'S HAY.

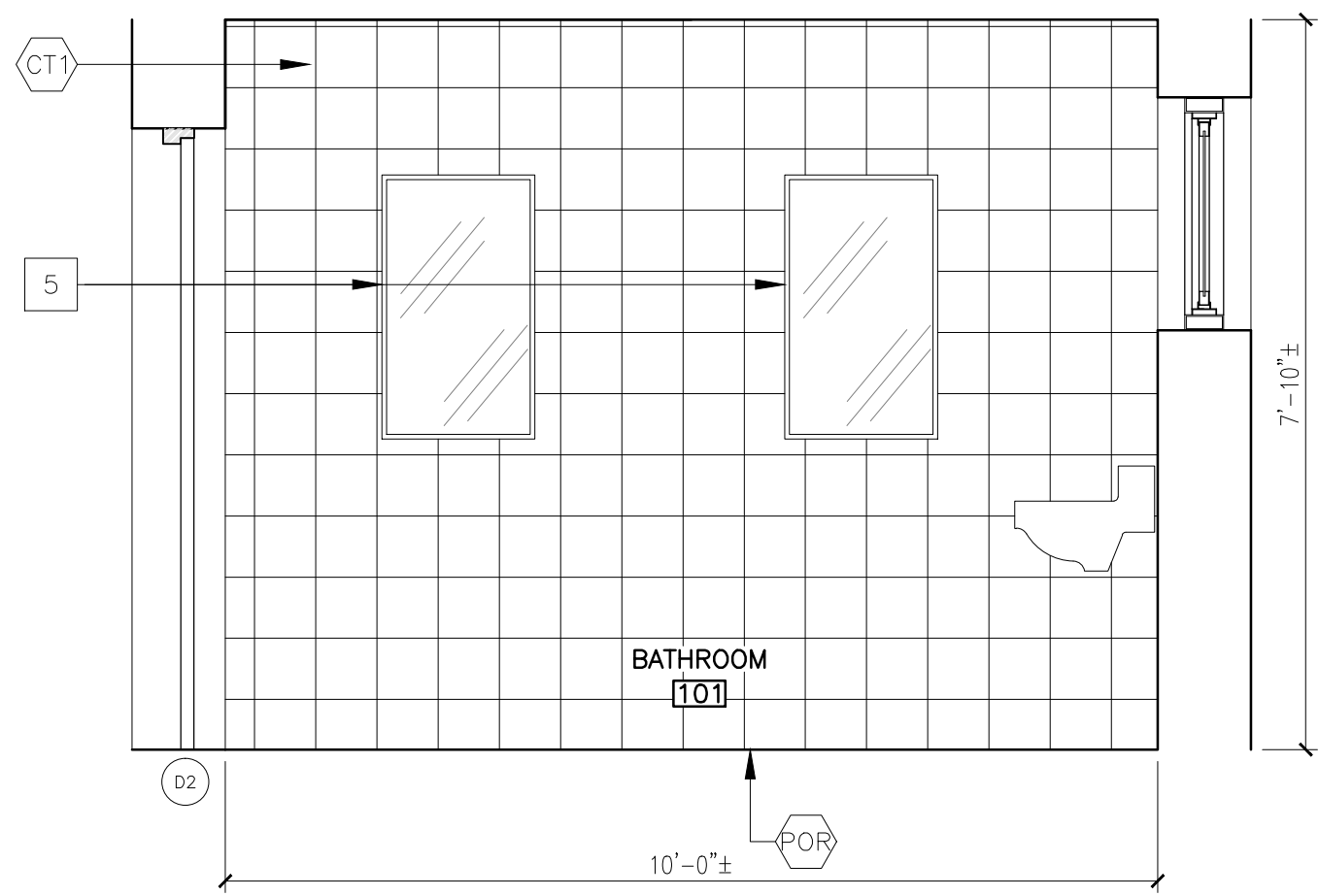
Sheet Title:  
FLOOR PLANS

Revisions: | Sheet Number:

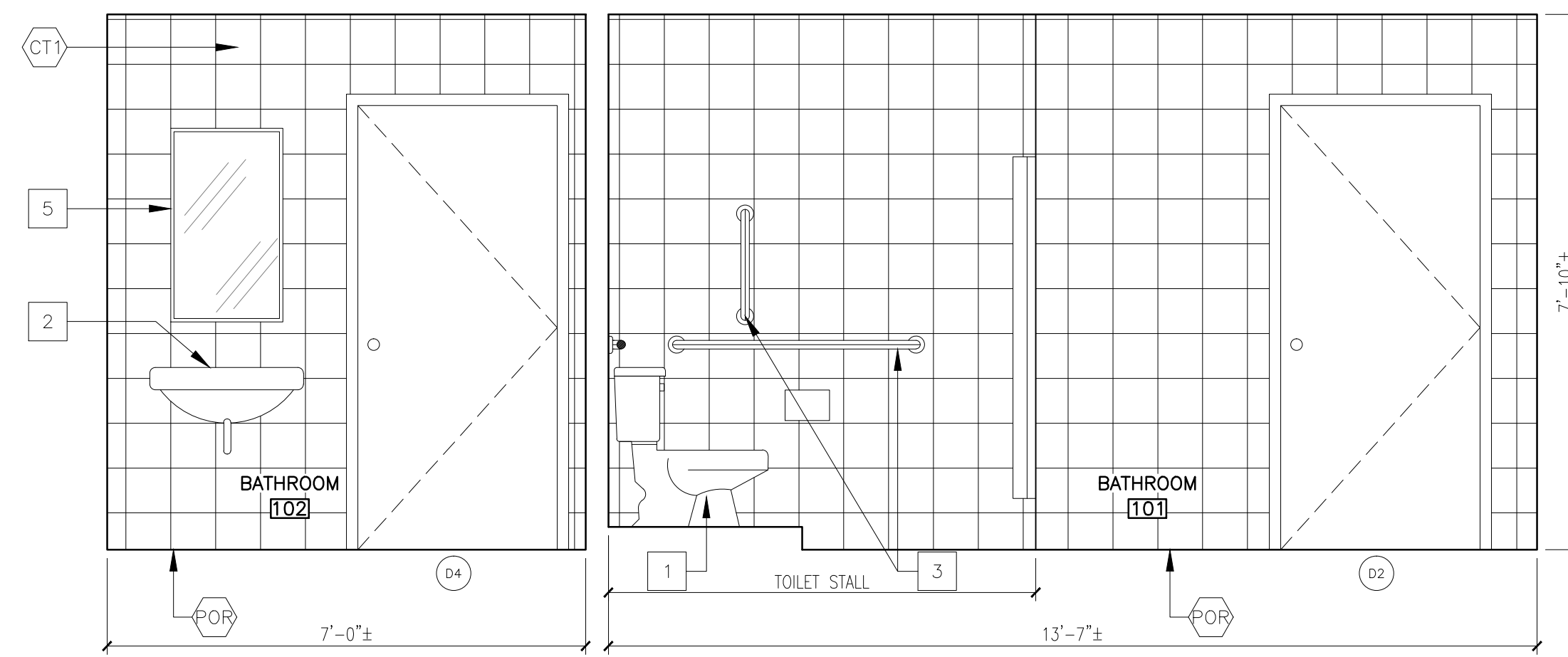
A1.3



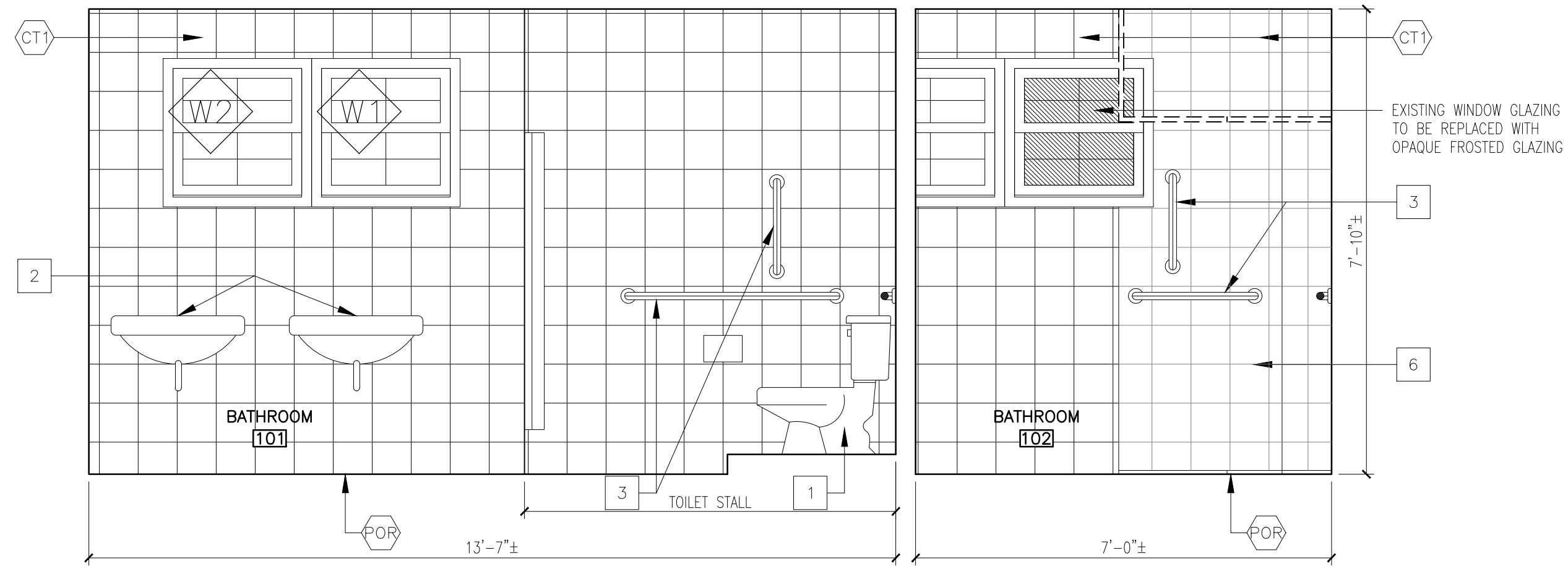
KEY PLAN



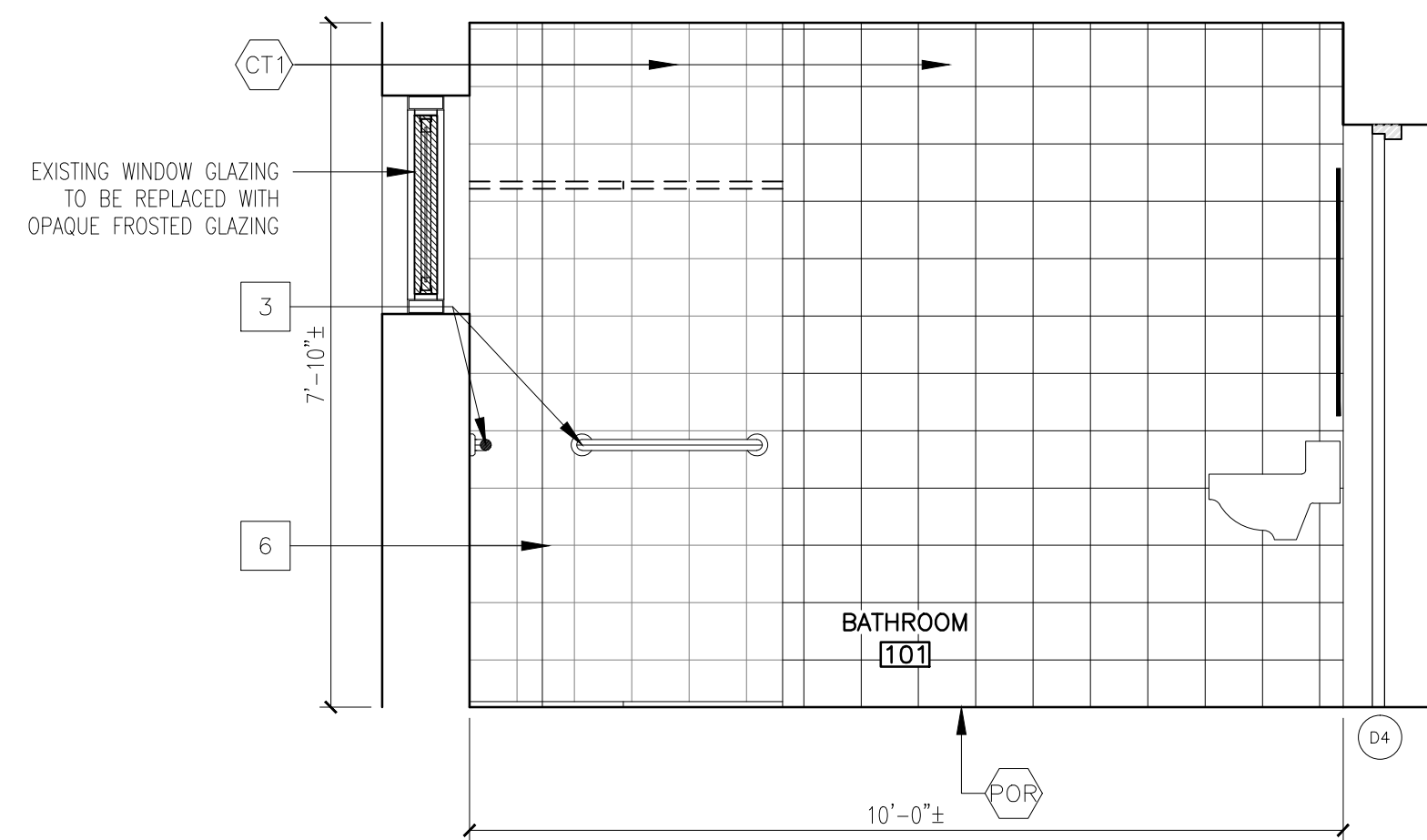
1  
A14 INTERIOR ELEVATION - WASHROOM  
SCALE: 1/2" = 1'-0"



4  
A14 INTERIOR ELEVATION - WASHROOM  
SCALE: 1/2" = 1'-0"



2  
A14 INTERIOR ELEVATION - WASHROOM  
SCALE: 1/2" = 1'-0"



3  
A14 INTERIOR ELEVATION - WASHROOM  
SCALE: 1/2" = 1'-0"

GENERAL PLUMBING NOTES :

1. ALL PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PUBLIC HEALTH ACT 1949 AND THE PLUMBING RESIDENTIAL CODE. WHERE NOT SPECIFIED HERE IN, THE MATERIALS, FIXTURES, DEVICES AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE INTERNATIONAL PLUMBING CODE AND THE BERMUDA BUILDING CODE.
2. COORDINATE ALL WORK WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TRADES. PIPE ROUTING SHOWN DIAGRAMMATIC, PROVIDE ALL OFFSETS ETC., TO AVOID INTERFERENCES WITH EQUIPMENT, PIPING, DUCTWORK, LIGHTS, CONDUIT, ETC.
3. COORDINATE ALL FLOOR PENETRATIONS WITH STRUCTURAL DRAWINGS. SET SLEEVES IN FLOORS AND WALLS AND ATTACHMENTS FOR HANGERS AS CONSTRUCTION PROGRESSES. ALL PENETRATIONS MUST BE SEALED AND HELD AS TIGHT TO COLUMNS OR WALLS AS POSSIBLE.
4. ALL PIPING SHALL BE CONCEALED INSIDE WALLS, BELOW FLOORS OR ABOVE CEILINGS UNLESS INDICATED OTHERWISE.
5. ALL PIPING SHALL BE SLOPED AS PER THE MINIMUM GRADE REQUIRED BY CODE (UNLESS NOTED OTHERWISE)
6. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL INFORMATION AND COORDINATION.
7. COORDINATE PIPING WITH BEAMS AND STRUCTURAL MEMBERS/COMPONENTS.
8. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL PLUMBING FIXTURES. EXACT LOCATION OF ALL FIXTURES MUST BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION. FINAL LOCATION SHALL BE AS DIRECTED BY THE ARCHITECT.
9. DO NOT RUN PLUMBING PIPES THROUGH ELECTRICAL ROOMS, DIRECTLY ABOVE ELECTRICAL PANELS OR THROUGH OTHER WATER SENSITIVE AREAS.
10. ALL FIXTURES SHALL BE FURNISHED WITH STOP VALVES. VALVES MAY BE IN SUPPLY PIPES OR INTEGRAL WITH SUPPLY FITTINGS.
11. PLUMBING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL COST INVOLVED.
12. INSULATE SUPPLY PIPES, STOPS AND DRAIN AT EACH SINK OR ADA LAVATORY WITH FIRE RESISTANT MOLDED FOAM INSULATED DEVICE TYPICAL TO TRUEBRO LAV GUARD OR EQUIVALENT.
13. MINIMUM FIXTURE CONNECTION SIZES SHALL BE MADE IN ACCORDANCE WITH THE PLUMBING FIXTURE SCHEDULE.
14. ALL EQUIPMENT, PIPING, APPURTENANCES SHALL BE PROTECTED FROM DEBRIS AND DAMAGE. SENSITIVE EQUIPMENT SHALL NOT BE DELIVERED TO THE JOB SITE UNTIL SUCH TIME AS IT IS TO BE INSTALLED. PIPING ENDS SHALL BE CLOSED BY TEMPORARY MEANS WHEN PORTIONS OF THE SYSTEM ARE NOT COMPLETE.
15. LOCATE ALL VALVES WHERE THEY ARE ACCESSIBLE FOR SERVICE AND USE. WHERE ACCESS PANELS ARE REQUIRED COORDINATE SELECTION AND LOCATION WITH ARCHITECT.
16. PROVIDE TRAP PRIMER AND CONNECTION FOR ANY FLOOR DRAIN, FLOOR SINK OR HUB DRAIN NOT SUBJECT TO REGULAR FLOW.
17. INSULATE ALL NEW HOT WATER PIPING.
18. ALL PENETRATIONS AT FLOORS AND RATED PARTITIONS SHALL BE A UL CLASSIFIED FIRE STOP SYSTEM TESTED TO ASTM E814, AND UL 1479 BY UNDERWRITERS LABORATORIES. FIRE STOP SYSTEMS SHALL BE PROSET SYSTEMS, PENSIL FIRE STOP SYSTEM OR 3M COMPANY.

ISSUE / REVISION

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SCALE: AS NOTED

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Checked By: LB Date: SEPTEMBER 2015

DRAWING

Prepared By: SS Date: SEPTEMBER 2015

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Approved By:

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Project Number:

36.217.57

Project Title:

WASHROOM REFURBISHMENT  
(AREA-A)

LEFROY HOUSE CARE COMMUNITY  
IRELAND ISLAND SOUTH,  
#7 HEYDON ROAD,  
SANDY'S MARI,

Sheet Title:  
INTERIOR ELEVATION

Revisions: Sheet Number:

A1.4