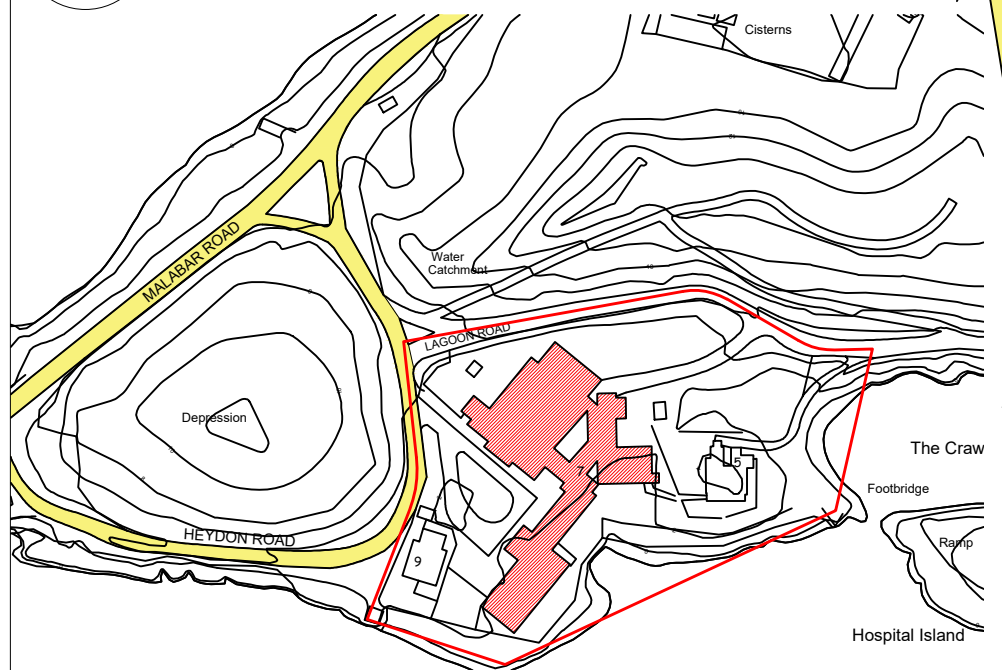


1 AERIAL LOCATION PLAN
SCALE: 1:2500



2 LOCATION PLAN
SCALE: 1:2500

DRAWING INDEX

DWG #	DRAWING TITLE
A1.0	SITE PLAN & LOCATION PLAN & INTERIOR RENDER DINING HALL
A1.1	PROPOSED GROUND FLOOR - MACRO SCALE
D1.1	KITCHEN & DINING HALL FLOOR & RCP DEMOLITION PLAN
D1.2	KITCHEN & DINING HALL ROOF & ELEVATION DEMOLITION PLAN
A1.2	KITCHEN & DINING PROPOSED FLOOR & RCP & STAFF LOCKER DETAILS
A1.3	KITCHEN & DINING PROPOSED ROOF PLAN & ELEVATIONS
A1.4	KITCHEN & DINING PROPOSED SECTIONS & RENDERS
A1.5	KITCHEN INTERIOR ELEVATIONS
A1.6	KITCHEN & DINING HALL PROPOSED FINISHES PLAN & SCHEDULES
MEP1.0	MEP SPECIFICATIONS & SCOPE OF WORK
MEP1.1	KITCHEN & DINING HALL PROPOSED MEP PLAN
D1.3	ANNEX WING & NEW BREAK ROOM DEMOLITION PLANS
D1.4	ANNEX WING & NEW BREAK ROOM RCP DEMOLITION PLANS
A1.7	ANNEX WING & NEW BREAK ROOM PROPOSED FLOOR PLANS & BREAK ROOM INTERIOR ELEVATIONS
A1.8	ANNEX WING & NEW BREAK ROOM PROPOSED RCP PLANS
A1.9	ANNEX WING SECTIONS
A1.10	ANNEX WING SECTIONS
A1.11	ANNEX WING & NEW BREAK ROOM PROPOSED FINISHES PLANS & SCHEDULES
MEP1.0	MEP SPECIFICATIONS & SCOPE OF WORK
MEP1.2	ANNEX WING & NEW BREAK ROOM PROPOSED MEP PLANS
A1.12	CONSTRUCTION NOTES
BAC MECHANICAL DRAWINGS	
M0.0	SYMBOLS & DRAWING LIST
M1.0	KITCHEN & DINING HALL PLUMBING & DRAINAGE PLAN
M1.0	ANNEX WING & BREAK ROOM PLUMBING & DRAINAGE PLAN
M2.0	KITCHEN & DINING HALL HVAC PLAN
M2.1	ANNEX WING & BREAK ROOM HVAC PLAN
M3.0	EQUIPMENT SCHEDULES
M3.1	MECHANICAL SPECIFICATIONS

3 SITE PLAN
SCALE: 1/16" = 1'-0"

4 INTERIOR RENDER - PROPOSED DINING HALL
SCALE: NTS



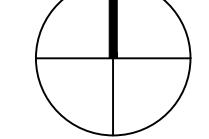
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NORTH



- GENERAL NOTES**
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4	Issued for Review	7 Dec 2020
5	Issued for PDP Submission	13 July 2021
6	Issued for Permit Submission	04 Oct 2021

SCALE: AS NOTED

SURVEY
Prepared By: _____ Date: _____

DESIGN
Prepared By: KGW Date: _____
Checked By: _____ Date: _____

DRAWING
Prepared By: KGW Date: _____
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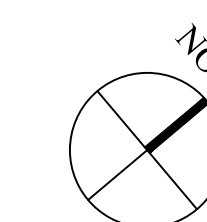
Approved By: _____

Project Number:
200221LH

Project Title:
**Lefroy House Care Community
Renovation Works**

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
**SITE PLAN, LOCATION PLAN &
INTERIOR RENDER**



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SCALE: AS NOTED

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Prepared By: _____ Date: _____

DESIGN

Prepared By: KGW Date: 23 July 2020

Checked By: _____ Date: _____

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Prepared By: KGW Date: 23 July 2020

Checked By: _____ Date: _____

Approved By: _____

Project Number: 200221LH

Project Title:
**Lefroy House Care Community
Renovation Works**

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

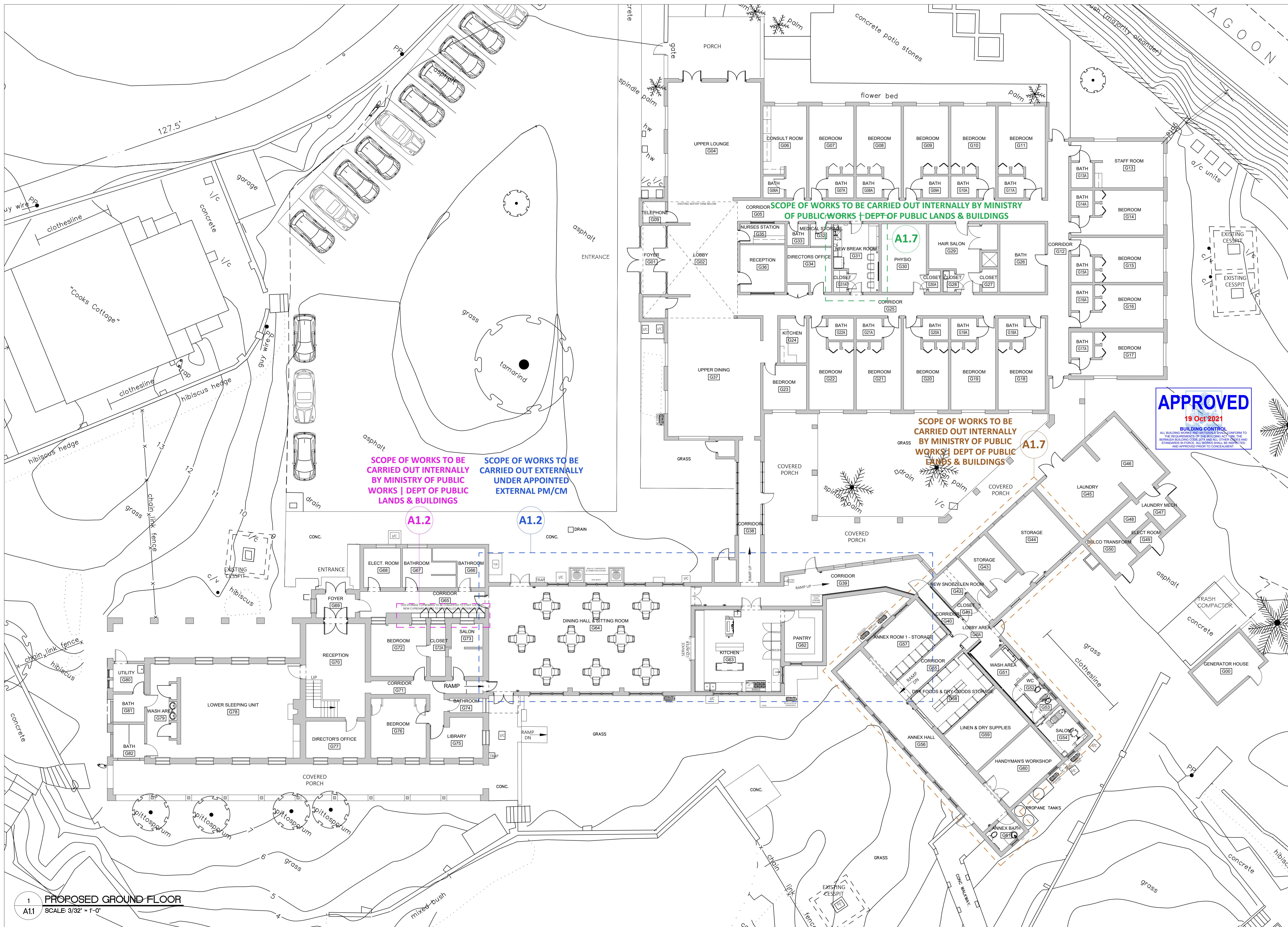
Sheet Title:
**PROPOSED GROUND FLOOR FULL
(MACRO)**

Revisions: _____

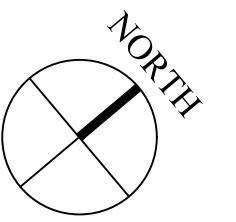
Sheet Number: _____



A1.1



1 PROPOSED GROUND FLOOR
A1.1 SCALE: 3/32" = 1'-0"



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Project Title:

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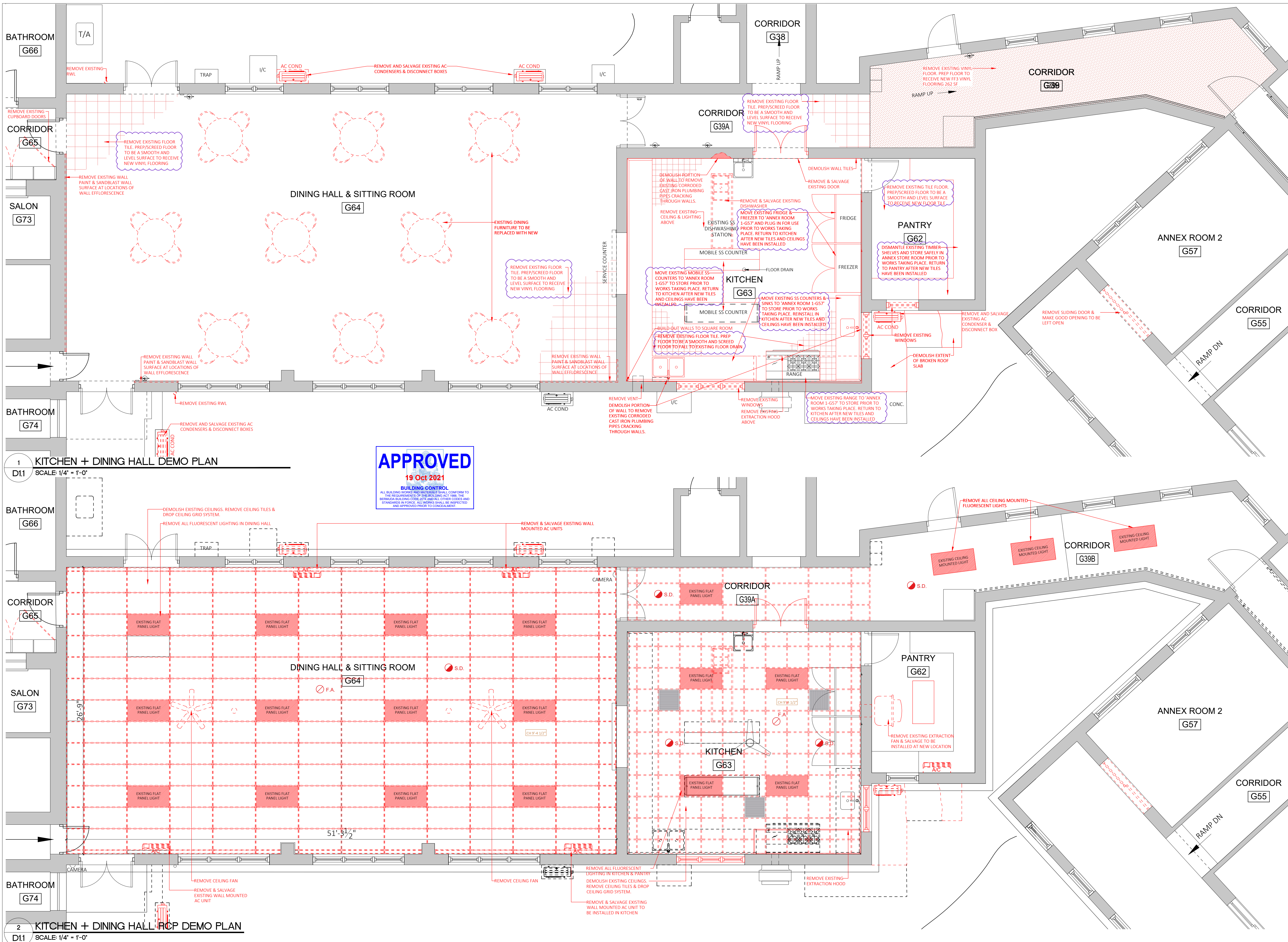
LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
**KITCHEN & DINING HALL FLOOR &
REFLECTED CEILING (RCP)
DEMOLITION PLANS**

Revisions: Sheet Number:

5

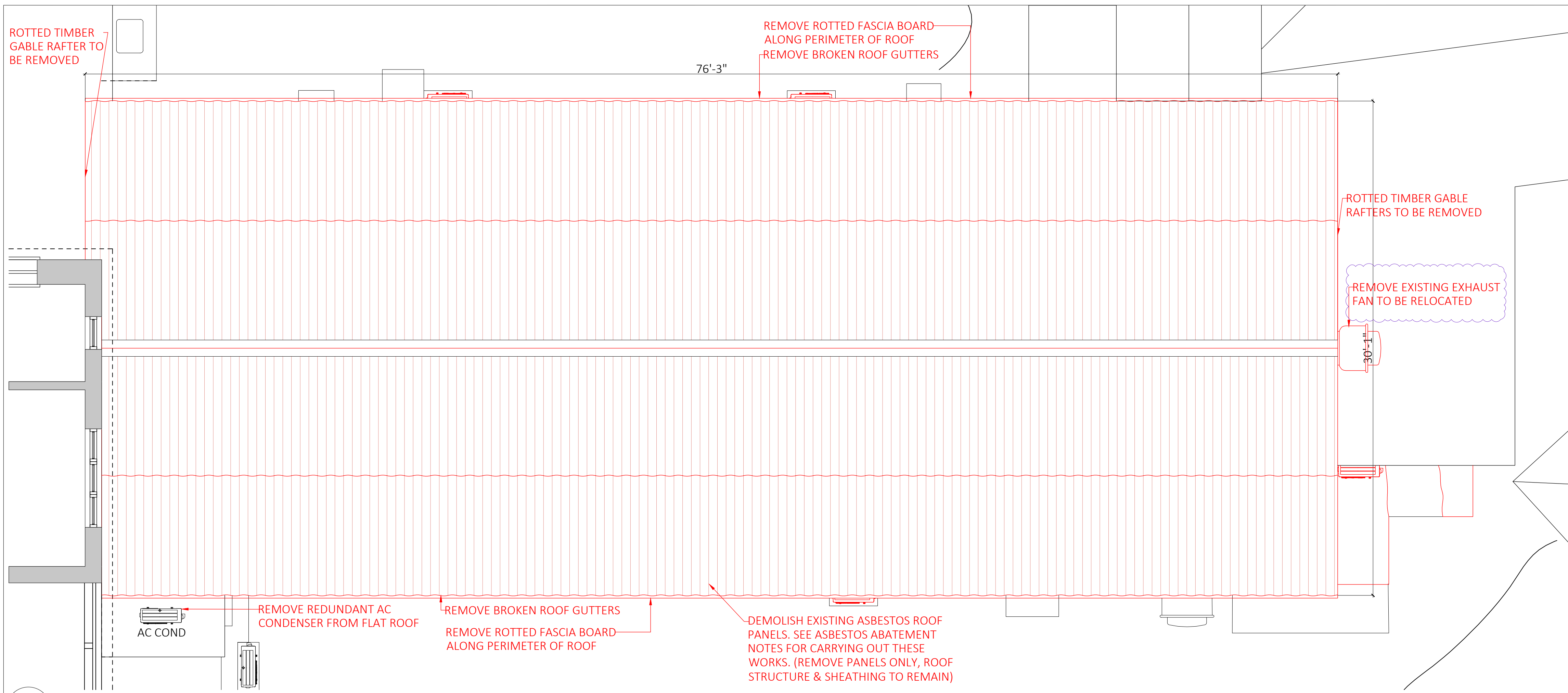
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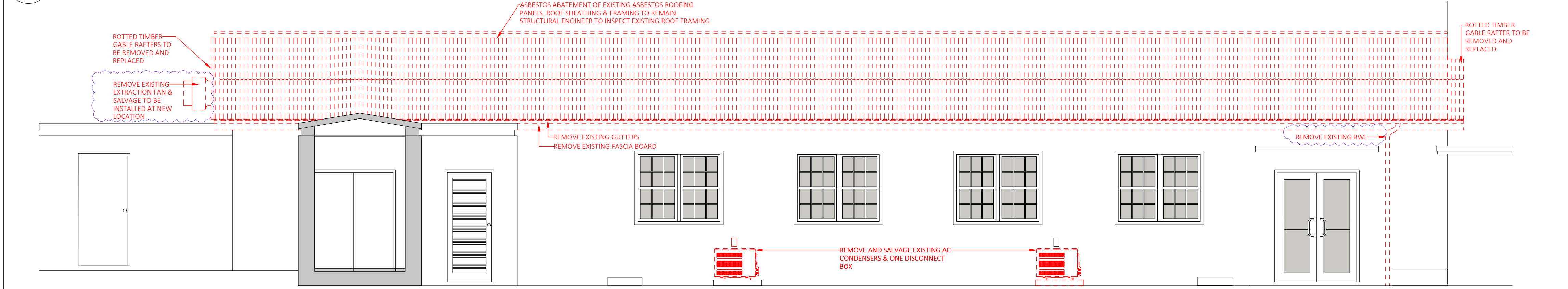
APPROVED
19 Oct 2021
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1 KITCHEN + DINING HALL DEMO PLAN
D1.1 SCALE 1/4" = 1'-0"

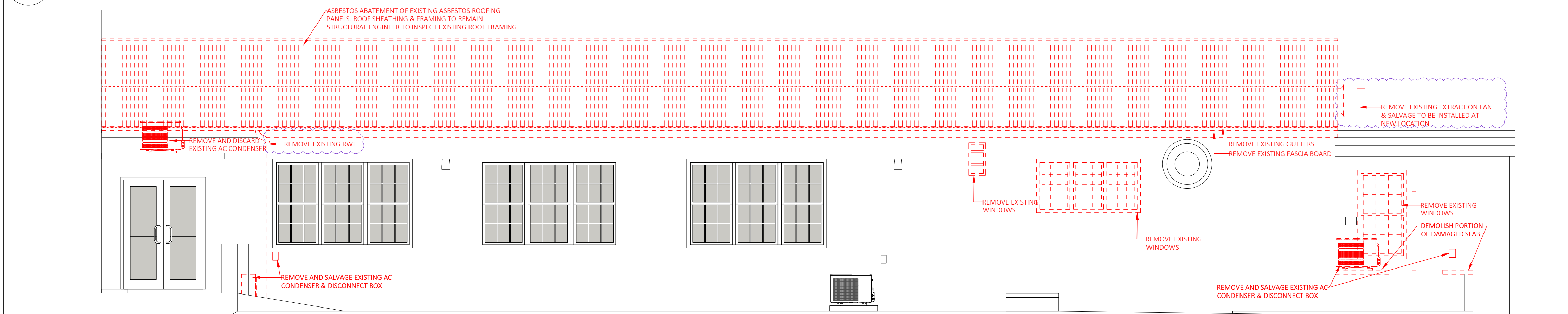
2 KITCHEN + DINING HALL RCP DEMO PLAN
D1.1 SCALE 1/4" = 1'-0"



1 KITCHEN + DINING HALL ROOF DEMO PLAN
D12 SCALE: 1/4" = 1'-0"



2 KITCHEN + DINING HALL NORTH ELEVATION DEMO PLAN
D12 SCALE: 1/4" = 1'-0"



3 KITCHEN + DINING HALL SOUTH ELEVATION DEMO PLAN
D12 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

Remove existing construction as indicated on drawings (walls, partitions, structural systems, mechanical and electrical services, and associated items). All debris shall be disposed at legal dumpsites. Finishes to be removed as required to suit new proposal - Refer to Finishes Schedule.

Care shall be taken during demolition of existing building so as not to unduly disturb any part of the existing structure that is to remain. Demolition works shall be monitored by either the architect or engineer.

All excavation and earthwork is to be carried out in accordance with the specifications for this package.

Existing lintels - Care to be taken not to damage existing lintels over doors, windows & other openings. Review condition of existing lintels on site. If existing lintels are stone, allow contingency for possible replacement with standard lintel detail. Verify on site.

Disconnect all power and illumination as necessary for the completion of removal operations. Abandoned services not to be extended or reused are to be removed. Reroute services which must be maintained. Remove from site items not to be Owner's salvage (client to confirm)

Disconnect all service piping necessary for the completion of removal operations. Cap and abandon service lines not to be extended or reused. Reroute services which must be maintained. Refer to Mechanical & Electrical drawings for details.

All removed equipment items, walls, structural, mechanical, electrical and finish materials other than 'Owner salvaged' items shall be the sole responsibility of the Contractor, and shall be carefully & appropriately removed from the site.

Existing utilities and services lines discovered during removal operations shall be immediately reported to the Project Manager and Contractor responsible for particular utility or service involved.

Provide suitable protection for adjacent existing areas before, during and following removal & demolition operations.

Rubbish and debris shall be carefully removed using adequately enclosed containers to prevent unwanted debris spill during removal.

No material shall be burned, stored or sold in either the building or on the site. All removed material and debris, unless identified otherwise, shall become the Contractor's property and shall be removed immediately and completely from the building and the site.

Remove no structural component without prior approval of the Architect or Structural Engineer. Braces and shores shall be provided where necessary to preserve integrity of existing structure.

All rock cuts greater than 6' (six feet) in height shall be certified by a registered structural engineer.

Backfill material shall be free from organic matter, construction debris and large rocks (greater than 3" (three inches)). The backfill shall be placed in layers, not greater than 6" (six inches), watered and compacted.

Do not backfill against walls retaining earth until elements providing lateral support are completed. Place backfill simultaneously on both sides of other walls below grade.

All excavations shall be adequately dewatered before concrete is placed.

Leave the interior clean, ready for further construction.

** NOTE HIDDEN LINES (RED DASHED LINES) SHOW DEMOLITION AREAS

GENERAL ASBESTOS ABATEMENT NOTES

All asbestos abatement work shall conform to all applicable code requirements (The Department of Health's Asbestos Removal Policy). Asbestos is to be removed in a safe manner and shall be contained/covered to prevent air contamination. The asbestos material shall then be transported to the Government Quarry for safe disposal.

All openings and penetrations including but not limited to windows and doors shall be covered with a minimum of two layers of 6mil poly sheets.

Upon completion of the abatement work, the contractor shall submit copies of all waste manifest and landfill receipts to the architect/designer as part of the required closeout documents.

GENERAL ROOFING DEMOLITION NOTES

Existing roofing sheets/panels to be removed completely, roof framing and sheathing and connections to remain.

Contractor shall flush and snake all roof drains thoroughly and block all rain water pipes to prevent debris from entering prior to beginning of any demolition work.

Upon removal of existing roofing, the contractor shall notify the architect/designer/engineer to inspect the condition of existing roof structure bond beams and walls.

The contractor shall dispose of all unwanted material and construction debris off site in accordance with contract specifications.

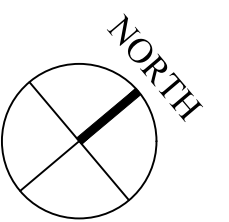


MINISTRY OF PUBLIC WORKS



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SCALE: AS NOTED

SURVEY

Prepared By: _____ Date: _____

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Prepared By: KGW Date: --

Checked By: _____ Date: --

DRAWING

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Approved By: _____

Project Number: 200221LH

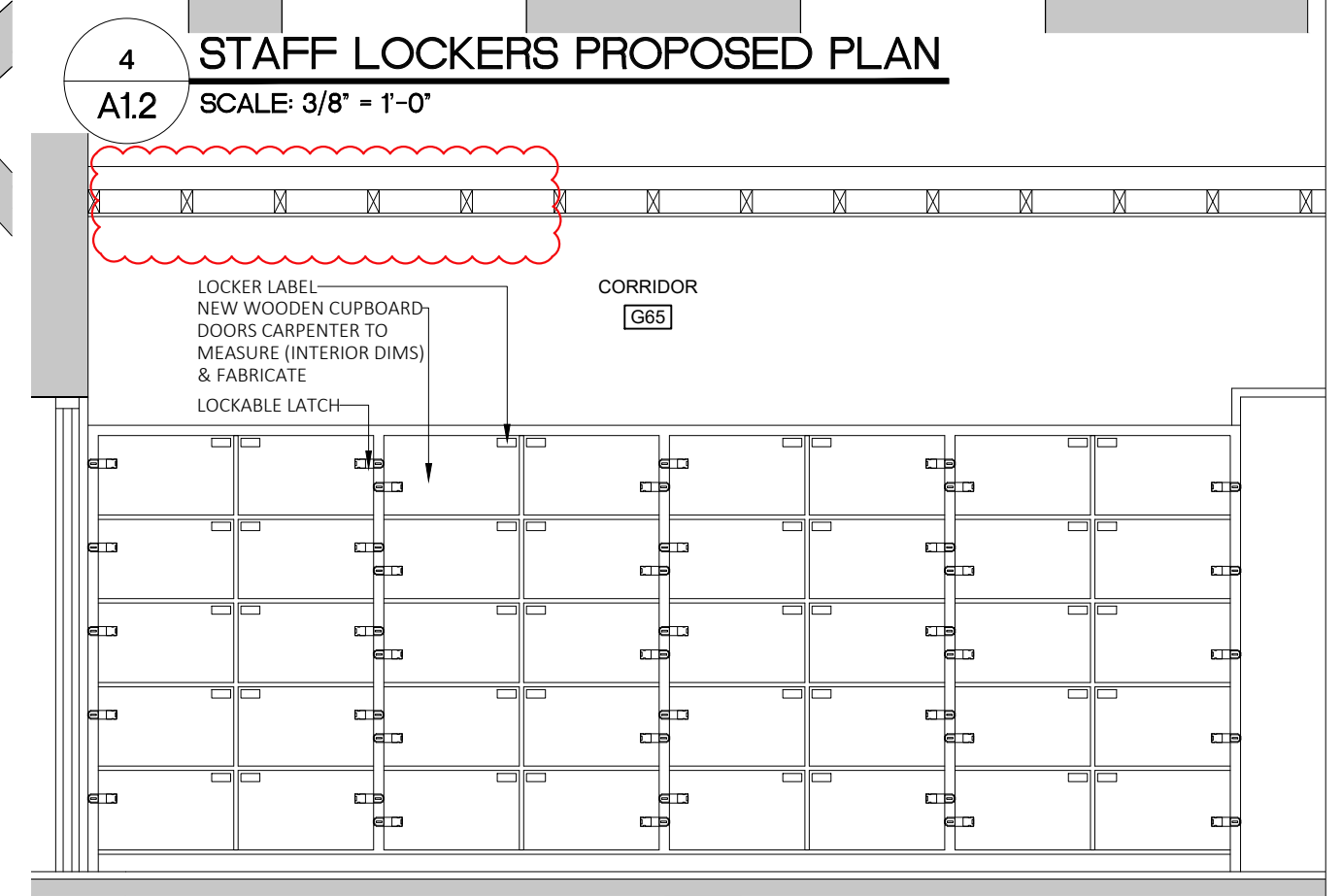
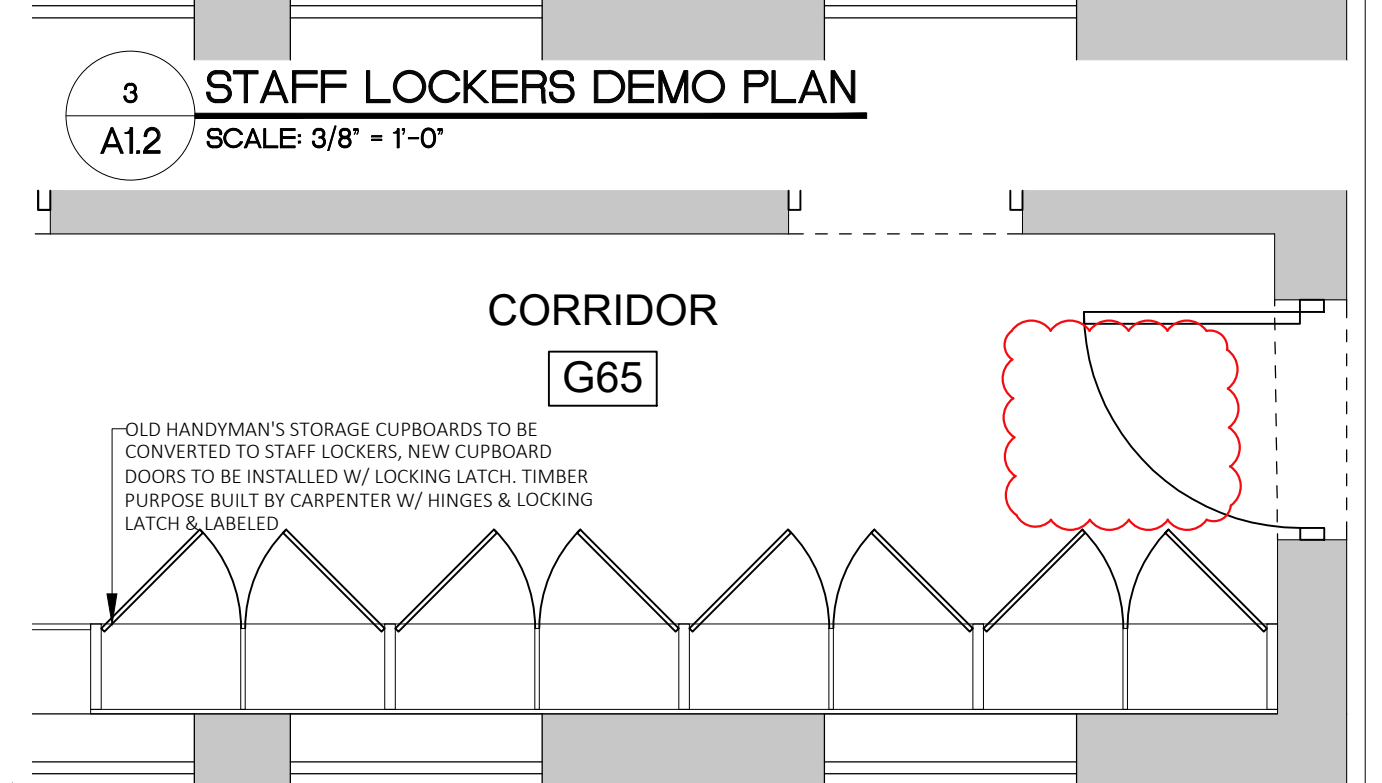
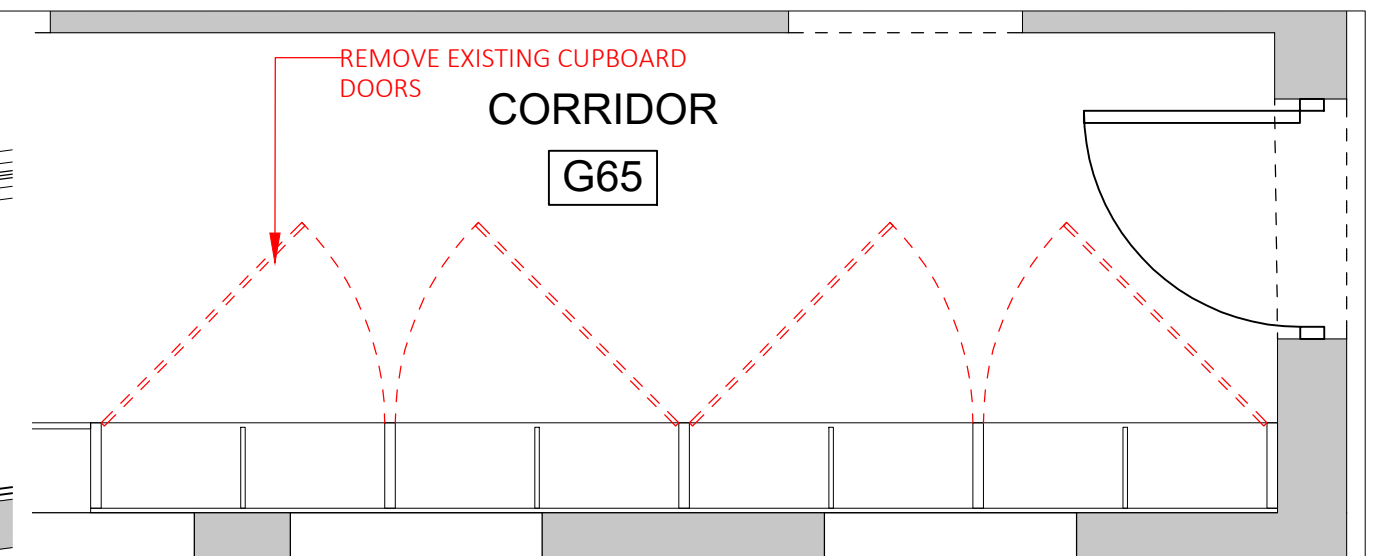
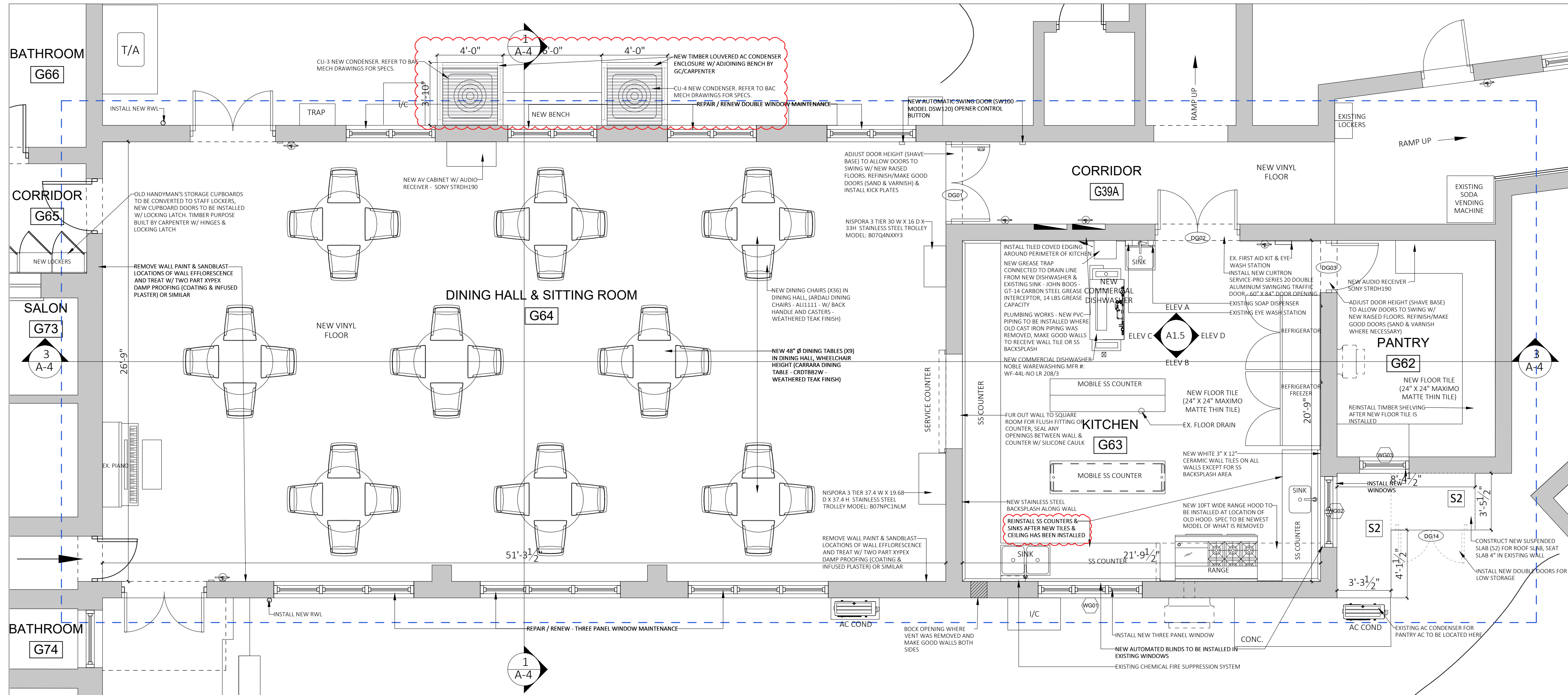
Project Title: Lefroy House Care Community Renovation Works

Lefroy House Care Community Renovation Works

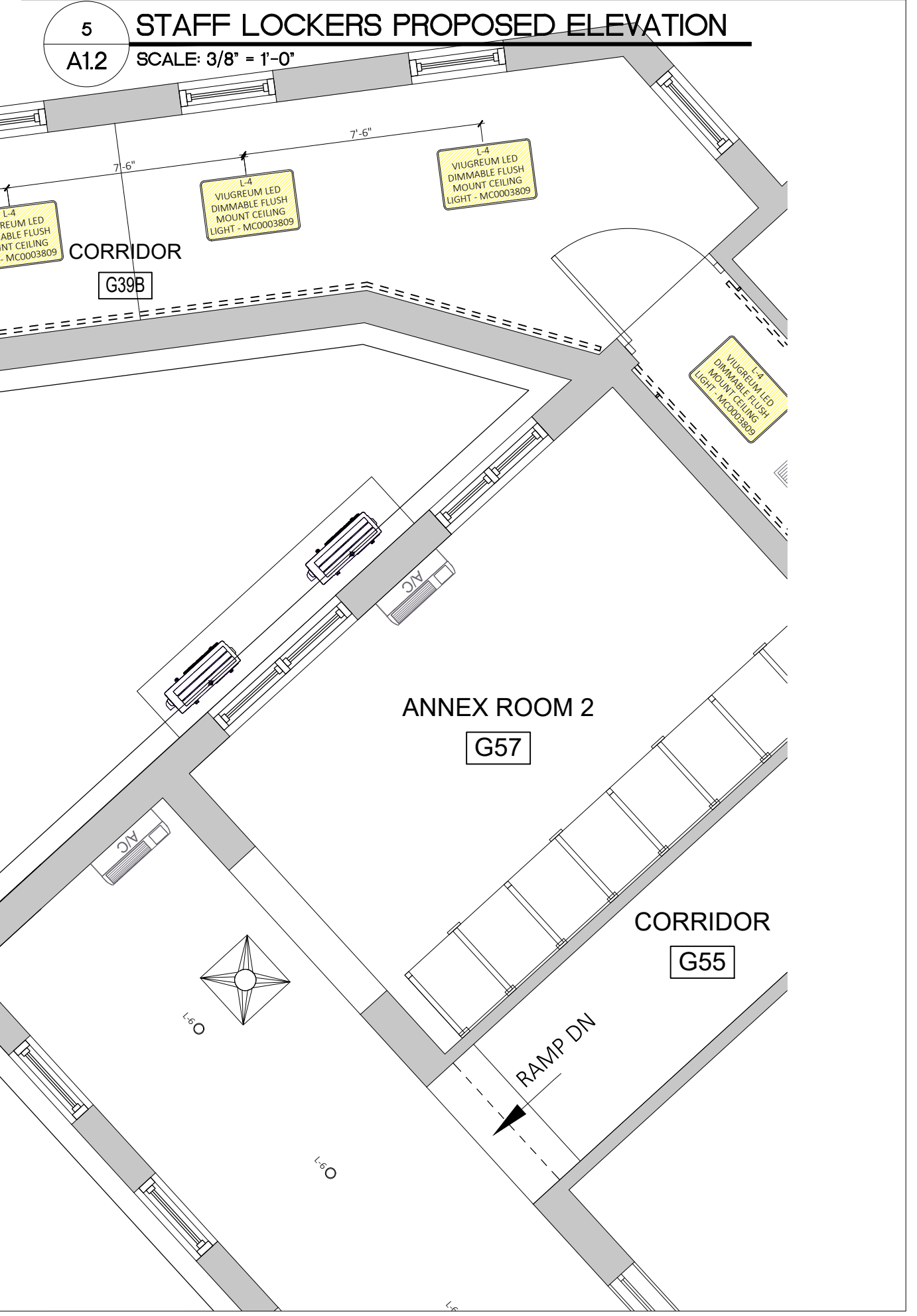
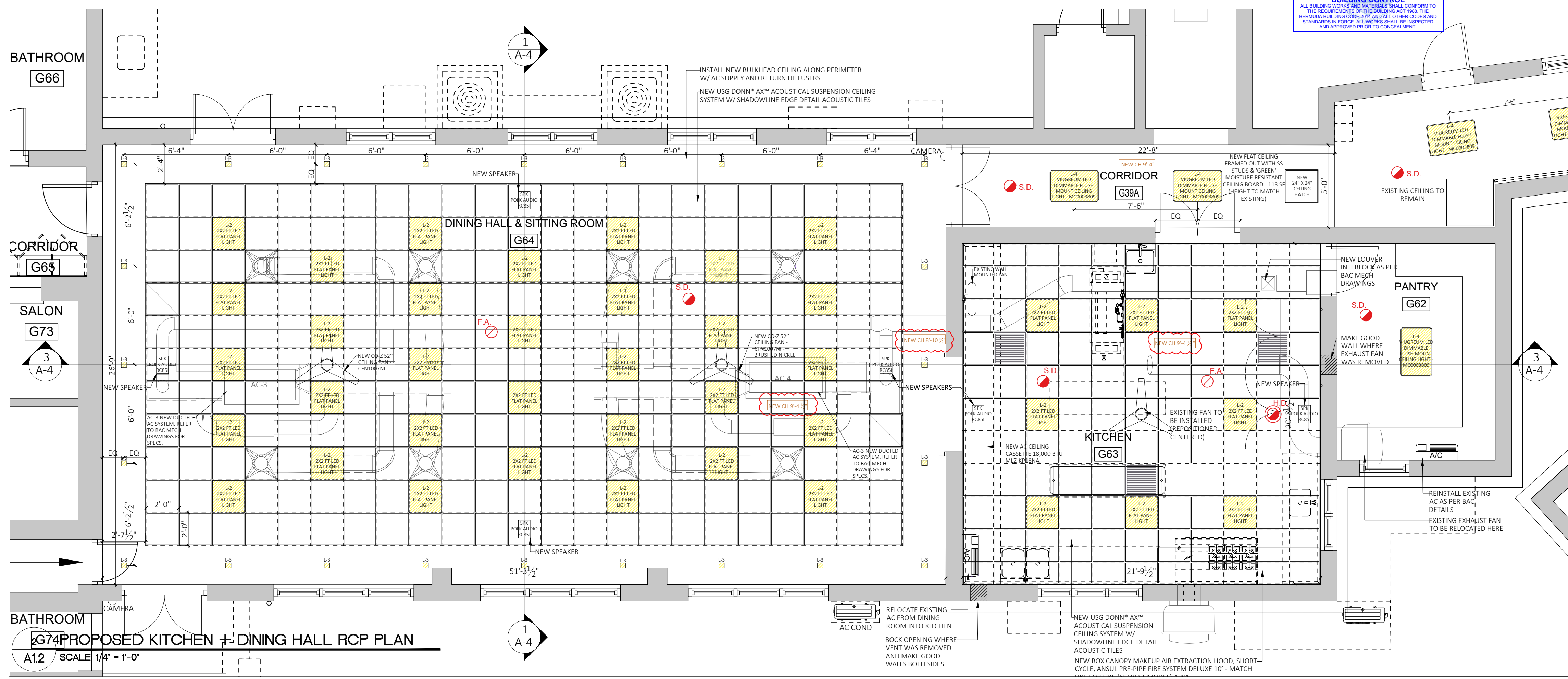
LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title: KITCHEN & DINING HALL ROOF DEMO PLAN, ELEVATION DEMO PLANS & DEMOLITION NOTES

Revisions: 5 Sheet Number: D1.2



APPROVED
19 Oct 2021
BUILDING CONTROL
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9	Issued for PDP Submission 04 Oct 2021

SCALE: AS NOTED

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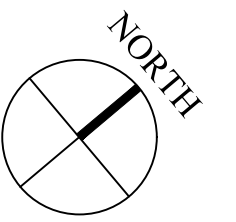
Approved By: _____

Project Number: 200221LH
Project Title: **Lefroy House Care Community Renovation Works**

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title: **KITCHEN & DINING HALL PROPOSED FLOOR PLAN, PROPOSED REFLECTED CEILING PLANS (RCP) & STAFF LOCKER DETAILS**

Revisions: Sheet Number: **A1.2**



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Date: --

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Project Title: Lefroy House Care Community Renovation Works

LEFROY HOUSE
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BERMUDA, MA 01

Sheet Title: KITCHEN & DINING HALL PROPOSED ROOF PLAN & ELEVATIONS

Revisions: _____ Sheet Number: _____



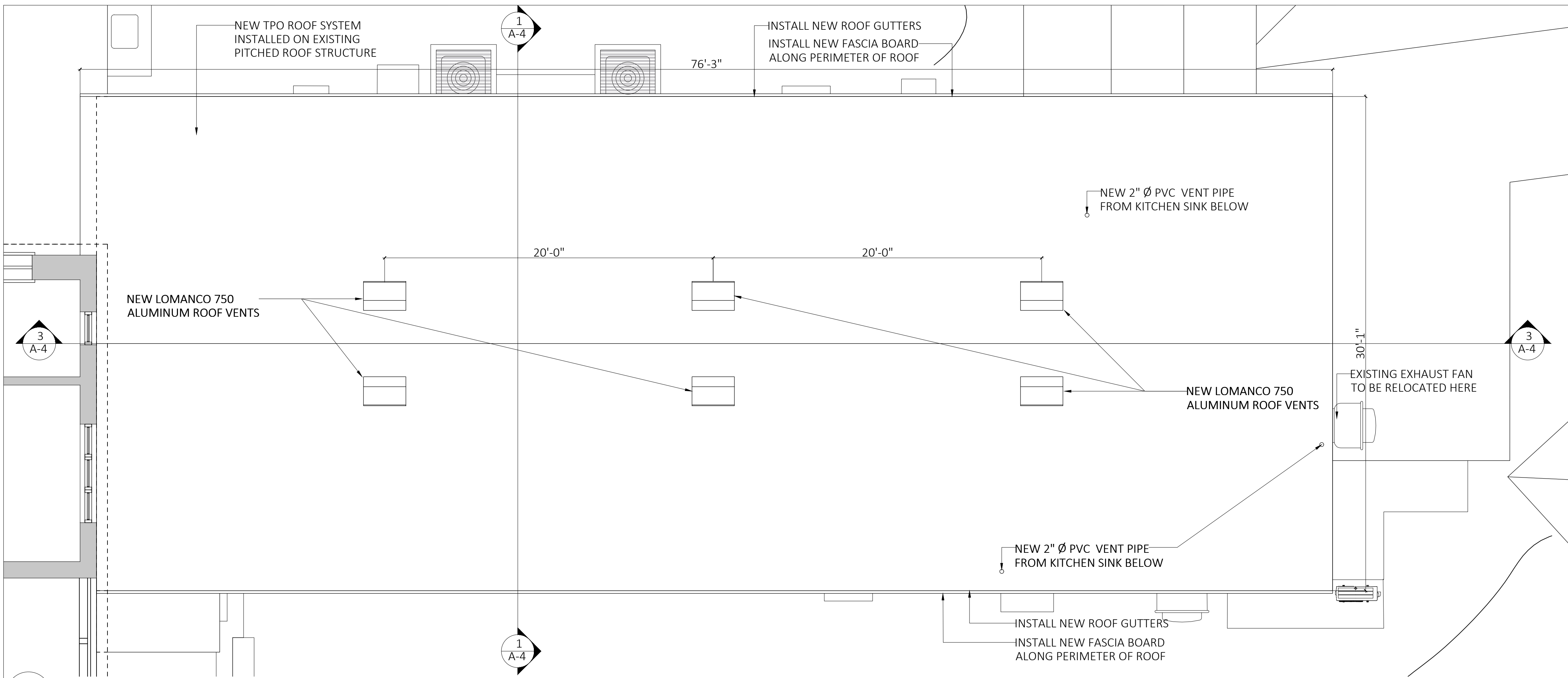
A13

ROOF NOTES

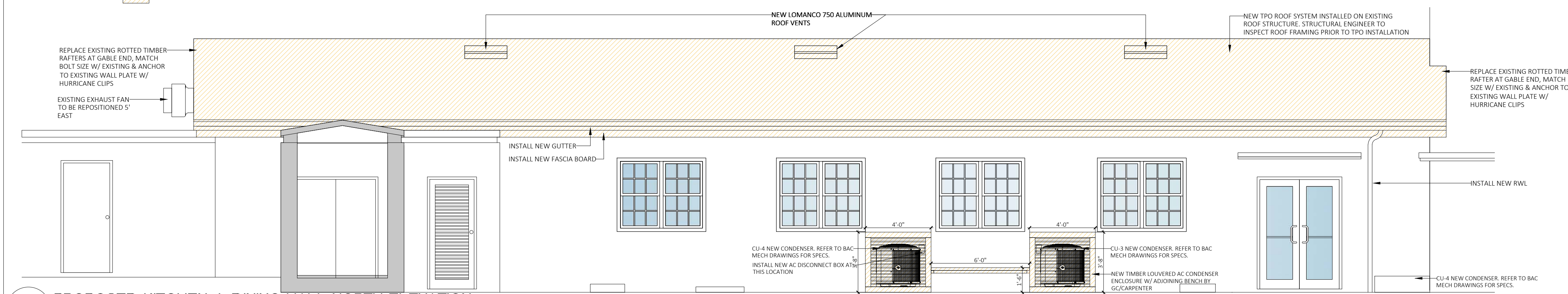
1. New TPO Roof with industrial roof vents to replace existing asbestos roof. Existing roof framing & sheathing to remain if deemed structurally sound after structural engineer's inspection and assessment after asbestos removal.
2. In the event that portions of roof structure are to be removed & replaced, refer to structural engineer's 'Roof Assessment - Methodology Report'

GENERAL ROOF NOTES

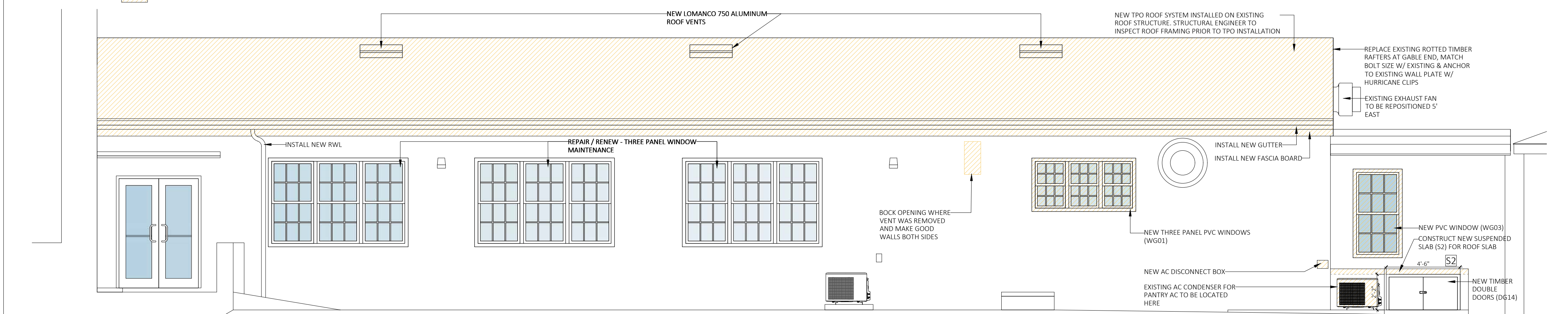
1. Rafter spacing 16" c/c, collar ties at 1/3 roof height (b/c).
2. For roof slopes, refer to architectural drawings.
3. Timber construction shall conform to AITC, national design specifications and Bermuda Building Code (latest ed.). Timber to be type 'Structural Light Framing', no. 2 southern yellow pine (pitch pine).
4. All timber to be wolmanized type pressure treated.
5. All steel nuts, bolts and washers are to be hot tip galvanized conforming to ASTM A-325. Bolt holes shall be no larger than 1/16" greater than the normal bolt size. All bolted joints shall have washers fitted under the head of the bolt and under each nut. The size of the washers shall be for 1/2" bolts and under: 2" diameter x 1/8" thick, and for 3/8" bolts: 2 1/2" diameter x 3/16" thick.
6. Wall plate 3" x 4" timber.
7. Anchor bolts shall be 1/2" diameter located within 12" of the end of each section of wall plate, thereafter at 32" c/c maximum spacing. They shall have a 2" bend on the base, or alternatively a 2" diameter washer and be cast a minimum of 4" into the concrete bond beam. The wall plate shall be fastened to the anchor bolts using a nut with a washer of minimum size 1 1/2" diameter and 1/8" thick.
8. Hip Rafters: Size as common rafters (in access of 16'-0" long use double common rafters)
9. Bolt double rafters together with 1/2" Ø bolts at 1'-4" c/c, bolts staggered vertically.
10. Valley Rafters: 2" x 8" for 6" deep & 2" x 10" for 8" deep common rafters.
11. Ridge Boards 1" x 8" for 6" rafters, 1"x10" for 8" rafters, and 1" x 2" for 10" rafters.
12. Ridge Pole: For peak roofs 4" x 4"
13. Fix wall plate to to ring beam with 1/2" Ø gal "J" bolts through wall plate at 32" c/c using 2" sq. x 0.25" thick plate washers under nuts (bolts set min. 3.5" into conc. ring beam).
14. Fix each rafter to wall plate with one fully nailed 'Simpson Strong Tie Hurricane Clips' type H2.5A per rafter.
15. All nails for permanent work to be galvanized.
16. All bolts to be galvanized steel or stainless steel.



1 PROPOSED KITCHEN + DINING HALL ROOF PLAN
SCALE: 1/4" = 1'-0"
ORANGE HATCH INDICATES PROJECT SCOPE



2 PROPOSED KITCHEN + DINING HALL NORTH ELEVATION
SCALE: 1/4" = 1'-0"
ORANGE HATCH INDICATES PROJECT SCOPE



3 PROPOSED KITCHEN + DINING HALL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
ORANGE HATCH INDICATES PROJECT SCOPE





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Project Number: 200221LH

Project Title: Lefroy House Care Community Renovation Works

LEFROY HOUSE
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BERMUDA, MA 01

Sheet Title: KITCHEN & DINING HALL PROPOSED SECTIONS & RENDERS

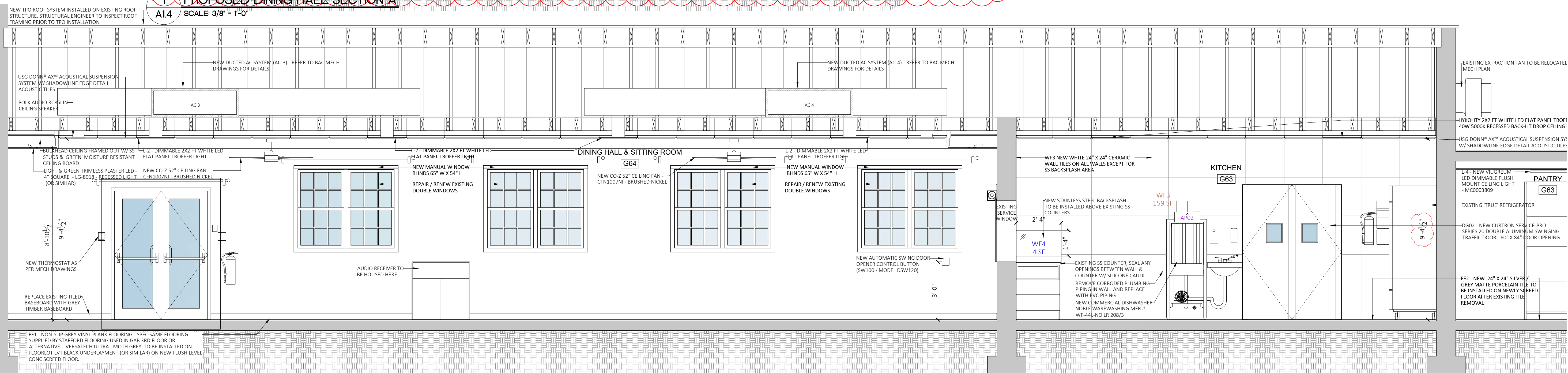
Revisions: Sheet Number:

A1.4

2 PROPOSED CEILING DETAIL - DINING HALL
SCALE 1/2" = 1'-0"



1 PROPOSED DINING HALL SECTION A
SCALE 3/8" = 1'-0"



3 PROPOSED KITCHEN + DINING HALL SECTION B
SCALE 3/8" = 1'-0"



4 DINING HALL RENDER 1
SCALE: NTS

5 DINING HALL RENDER 2
SCALE: NTS



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PROJECT

Project Number: 200221LH

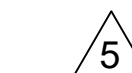
PROJECT TITLE

**Lefroy House Care Community
Renovation Works**

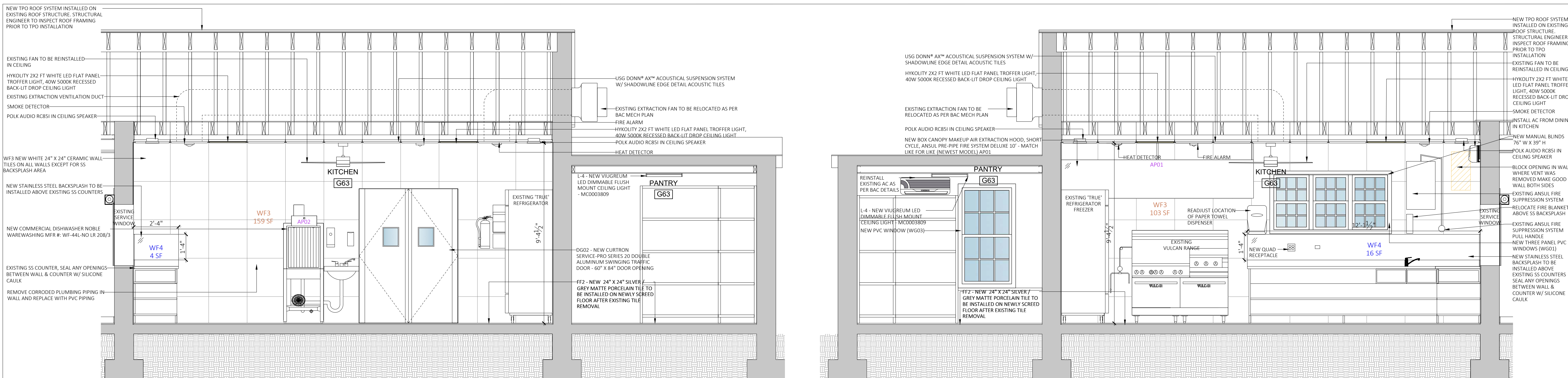
LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
KITCHEN INTERIOR ELEVATIONS

Revisions: _____ Sheet Number: _____

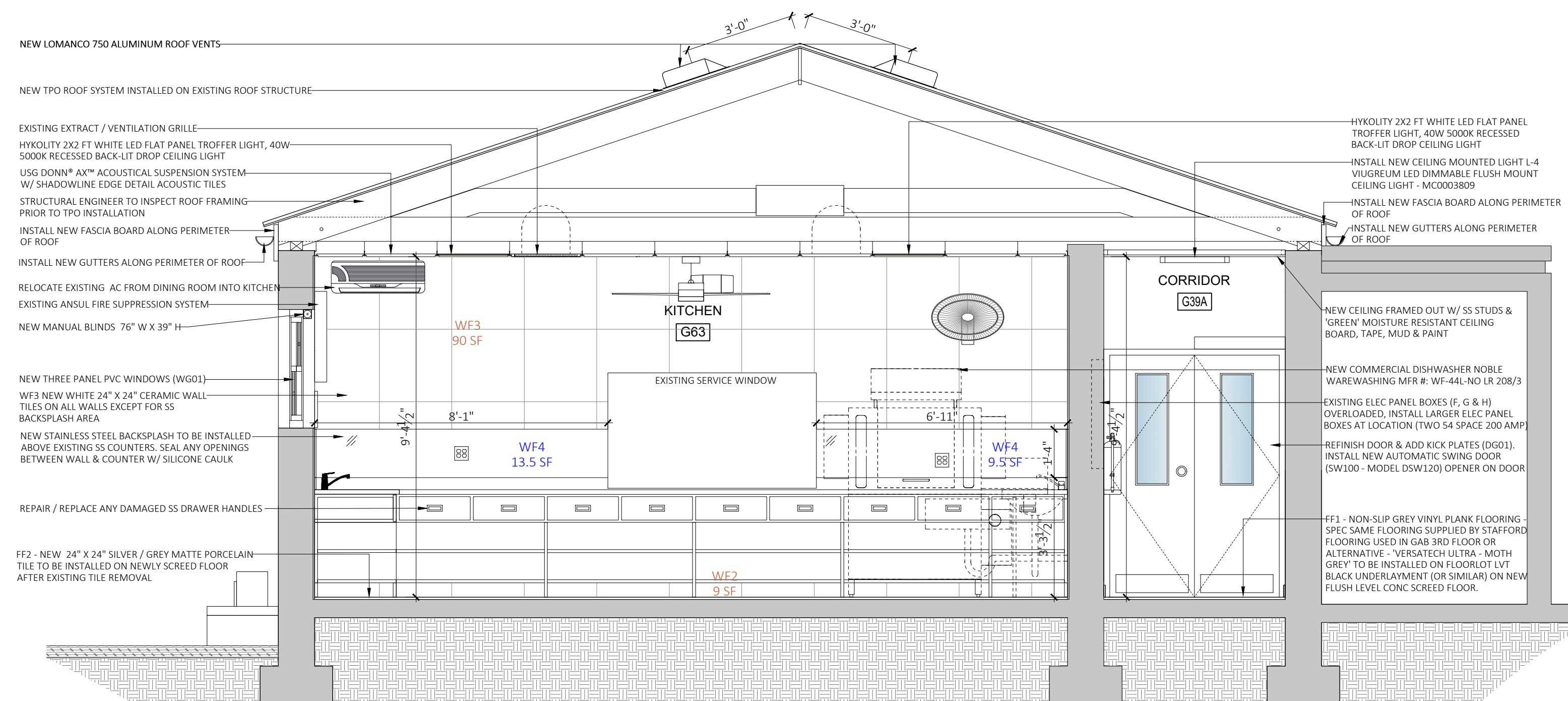


A1.5

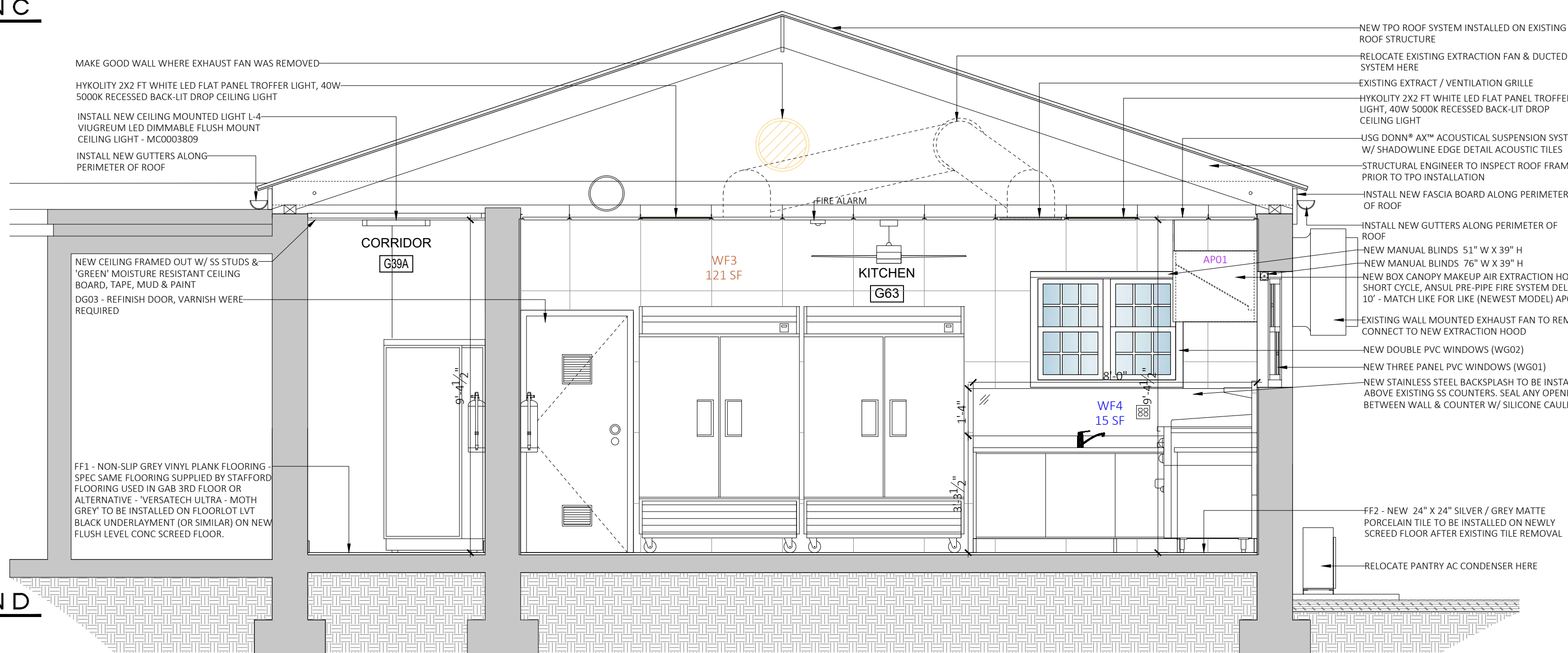


1 **KITCHEN INTERIOR ELEVATION A**
A1.5 SCALE: 3/8" = 1'-0"

2 **KITCHEN INTERIOR ELEVATION B**
A1.5 SCALE: 3/8" = 1'-0"



3 **KITCHEN INTERIOR ELEVATION C**
A1.5 SCALE: 3/8" = 1'-0"



4 **KITCHEN INTERIOR ELEVATION D**
A1.5 SCALE: 3/8" = 1'-0"



SPECIFICATIONS/SCOPE OF WORK

1. TO DO A COMPLETE INSTALLATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF NFPA 70 (ELECTRICAL CODE), NFPA 72 (FIRE ALARM CODE), NFPA 101 (LIFE SAFETY CODE) AND THE STANDARD MINISTRY OF WORKS & ENGINEERING SPECIFICATIONS.
2. VISIT THE SITE WITH ENGINEER AND EXAMINE ALL EXISTING CONDITIONS, WHICH MAY AFFECT THE INSTALLATION OF THE FIRE ALARM EQUIPMENT. NO EXTRAS WILL BE CONSIDERED FOR FAILURE TO ALLOW FOR EXISTING CONDITIONS.
3. ALL ELECTRICAL MATERIALS AND EQUIPMENTS SHALL BE NEW, EXCEPT WHERE RE-USAGE OF EXISTING IS INDICATED BY ENGINEER, IS IN GOOD WORKING CONDITION AND IS MANUFACTURED TO STANDARD SPECIFICATIONS. ALL FIRE ALARM EQUIPMENT IS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
4. PROVIDE ALL TOOLS FOR INSTALLATION OF WORK SPECIFIED. OBTAIN OWNER'S PERMISSION FOR USE OF ELECTRICAL OUTLETS.
5. PROVIDE AND MAINTAIN INSURANCE TO PROTECT OWNER AND TRADE FROM ALL POSSIBLE CLAIMS.
6. WHEREVER ANY FIRE ALARM INSTALLATION REQUIRES ACCESSIBILITY, MAINTENANCE OR ADJUSTMENT, PROVIDE A MEANS OF ACCESS APPROVED BY THE OWNER.
7. ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND EXISTING CONDITIONS, MUST BE REFERRED TO THE ENGINEER BEFORE ANY WORK IS BEGUN.
8. THE DRAWINGS FOR THE FIRE ALARM INSTALLATION ARE DIAGRAMMATIC IN NATURE, INTENDED TO CONVEY THE SCOPE OF WORK ONLY. THE DRAWINGS DO NOT SHOW INTERIOR DESIGN, ARCHITECTURAL, MECHANICAL, STRUCTURAL OR BASE BUILDING DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A THROUGH KNOWLEDGE OF THE SAME BEFORE PROCEEDING WITH THE WORK.
9. CO-OPERATE AND CO-ORDINATE WITH OTHER TRADES IN LAYING OUT OF WORK SO AS NOT TO CONFLICT WITH WORK OF OTHER TRADES. CARRY OUT WORK PROMPTLY AS PER CONSTRUCTION SCHEDULE AND CO-ORDINATE WITH WORK OF OTHER TRADES.
10. ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR THE WORK SHALL BE INCLUDED UNDER THIS CONTRACT AND SHALL BE ACCEPTED TO THE OWNER BEFORE COMMENCEMENT OF WORK AND AFTER WORK IS COMPLETED.
11. WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE-STOPPING MATERIAL LISTED WITH, AND BEAR LABEL OF U.L., AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATED.
12. PROPER COORDINATION WITH MECHANICAL CONTRACTOR IS REQUIRED WITH REGARD TO HVAC SYSTEM ELECTRICAL SUPPLY DEVICES ETC.

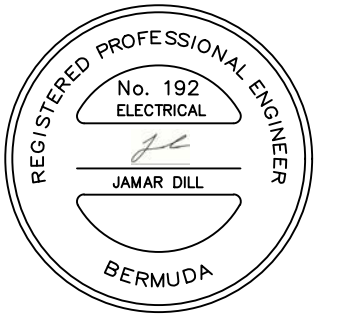


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No.		Date:
1	Issued for Review	24 July 2020
2	Issued for Review	1 Dec 2020
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4	Issued for Review	21 Dec 2020
5	Issued for Review	19 Jan 2021
6	Issued for Review	25 Jan 2021
7	Issued for Permit	09 Jul 2021

SCALE: AS NOTED

SURVEY

Prepared By: _____ Date: _____

DESIGN

Prepared By: KGW Date: --

Checked By: JD Date: 09 JUL 2021

DRAWING

Prepared By: KGW Date: --

Checked By: JD Date: 09 JUL 2021

Approved By: -

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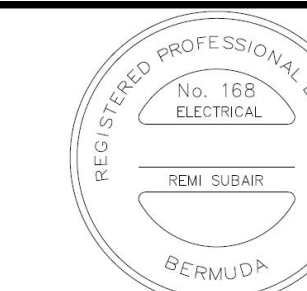
**Lefroy House Care Community
Renovation Works**

LEFROY HOUSE
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SANDYS
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Sheet Title:
ELECTRICAL SPECIFICATIONS

Revisions: _____ Sheet Number: _____

MEP1.0



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9	Issued for Permit	4 Oct 2021

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Lefroy House
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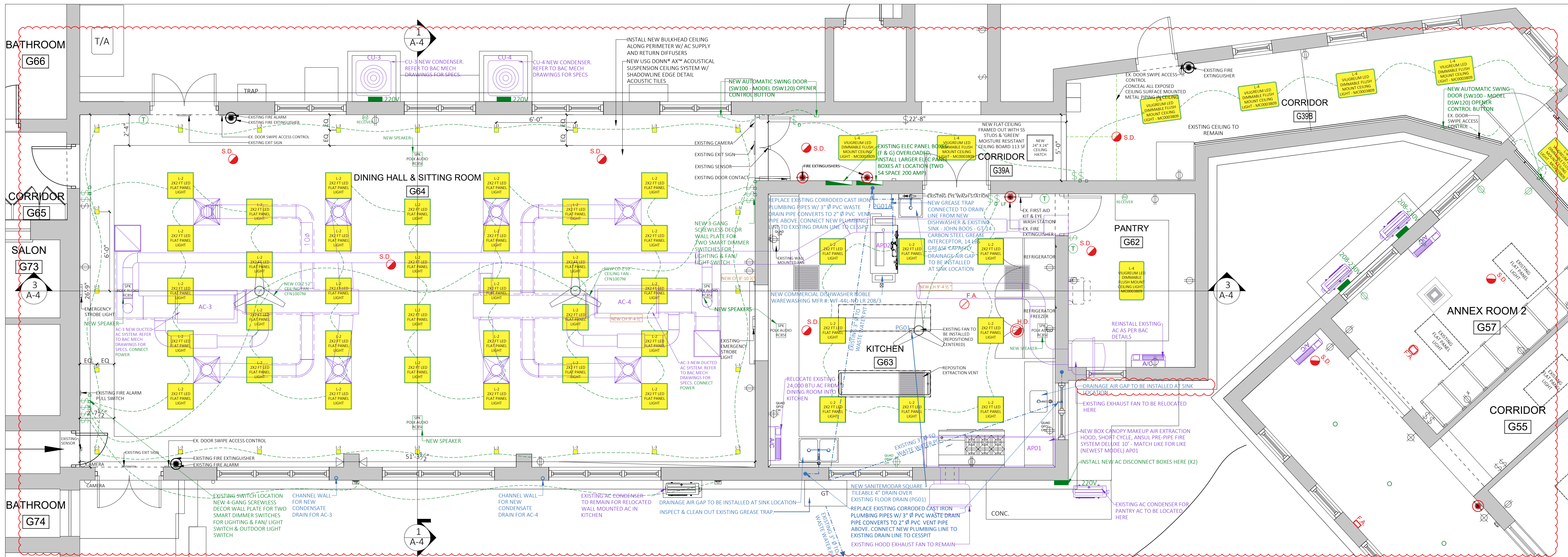
Sheet Title:
KITCHEN & DINING HALL PROPOSED MEP PLAN

Revisions: _____

Sheet Number: _____



MEP1.1



1 KITCHEN + DINING HALL PROPOSED FINISHES PLAN
MEP1.1 SCALE: 1/4" = 1'-0"

GENERAL ELECTRICAL NOTES

ALL FIXTURES TO BE AS SPECIFIED ABOVE (OR EQUAL & APPROVED BY ARCHITECT)

ALL WORK TO BE IN CONFORMANCE WITH THE BUILDING CODE (BOCA) AND NATIONAL ELECTRIC CODE (NEC).

2 1/2 LB WALL MOUNTED FIRE EXTINGUISHER TO BE INSTALLED IN KITCHENS.

FIRE ALARM INSTALLATION (AS APPLICABLE) TO BE IN ACCORDANCE WITH NATIONAL FIRE CODE NO. 70 (NFPA- NATIONAL ELECTRICAL CODE) - NATIONAL FIRE CODE NO. 72.

AIR CONDITIONING NOTES

CONTRACTOR TO COMPLETE ALL NECESSARY GENERAL WORKS FOR A/C SUB CONTRACTOR.

GENERAL PLUMBING NOTES

GENERAL CONTRACTOR TO CONFIRM PLUMBING LAYOUT CONFORMS WITH LATEST BUILDING CODES & ADVISE (W/ APPROVAL BY ARCHITECT) IF MORE APPROPRIATE/COST EFFICIENT SOLUTIONS CAN BE USED.

PLUMBER TO CONNECT EACH TOILET TO SEPARATE LINE. LINE TO BE VALVED BELOW GROUND FLOOR LEVEL.

ALL DRAINAGE LINES SCHEDULE 40 PVC. MIN FALL 1/8" PER FOOT. COLD WATER SUPPLY SCHEDULE 40 PVC. 1/2" DIA. TO EACH ROOM.

ALL DRAINAGE LINES SCHEDULE 40 PVC. 1/2" DIA. FROM H.W. HEATERS TO FIXTURES. HOT WATER HEATERS C/W PRESSURE RELEASE VALVE & 1/2" DRAIN PIPE TO EXTERNAL WALL.

THE WHOLE OF THE PLUMBING INSTALLATION SHALL BE CARRIED OUT BY SKILLED TRADESMEN IN A PROPER & WORKMANLIKE MANNER.

PIPES, FITTINGS & ACCESSORIES

PIPES FOR USE ABOVE GROUND SHALL COMPLY WITH THE APPLICABLE PORTIONS OF THE NATIONAL USA & BERMUDA STANDARD PLUMBING CODES. UNDERGROUND PIPES SHOULD BE CLEARLY MARKED WITH BRIGHT COLOURED CONTINUOUS PRINTED PLASTIC TAPE, NOT LESS THAN 6" WIDE X 4MM THICK.

OVERFLOW PIPES SHALL BE UNPLASTICISED POLYVINYL CHLORIDE (UPVC). WASTE PIPES & THEIR FITTINGS SHALL BE OF CHLORINATED POLYVINYL CHLORIDE (CPVC). POTABLE WATER TO BE PVC. HOT WATER TO BE CPVC.

TRAPS TO APPLIANCES SHALL BE IN POLYPROPYLENE WITH COMPRESSION JOINTS TO PIPE-WORK. THEY SHALL PROVIDE A 3" WATER SEAL UNLESS OTHERWISE AGREED BY ARCHITECT.

INSPECTIONS & APPROVALS

THE WHOLE OF THE PLUMBING WORKS SHALL BE CARRIED OUT IN A STRICT ACCORDANCE WITH THE STATUTORY AUTHORITY REGULATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL INSPECTIONS ARE REQUESTED & CARRIED OUT AT THE RELEVANT WORK STAGES. ALL PLUMBING SHALL BE PRE-PRESSURE TESTED PRIOR TO COMPLETION. POTABLE WATER SYSTEMS SHALL BE FLUSHED TWICE MINIMUM.

SETTING OUT

THE POSITION OF ALL PIPE RUNS & INSTALLATIONS SHALL BE IN ACCORDANCE WITH CONTRACT DRAWINGS & SHALL BE AGREED ON SITE BY THE ARCHITECT / P.A. C/W 'CLEAN-OUTS', SWEEP BENDS, & 'RODDING EYES' TO BE INSTALLED TO FACILITATE EASE OF UN-BLOCKING TECHNIQUES AFTER COMPLETION.

FIXING OF PIPE-WORK

TUBES & PIPES SHALL BE JOINED WITH APPROPRIATE CAPILLARY OR COMPRESSION FITTINGS & SHALL BE FIXED CLEAR OF ALL WALLS & SOFFITS WITH PROPRIETARY BRACKETS OR CLIPS. SPACING SHALL NOT BE MORE THAN 8'-0" VERTICALLY & 5'-0" HORIZONTALLY.

ALL BENDS SHALL BE SWEEP BENDS OR EASY RIGHT ANGLE BENDS. MACHINE MADE BENDS IN PIPES SHALL HAVE SMOOTH BENDS & BACKS & UNCREASED OR UNCRIPPLED THROATS. ALL TEE PIECE FITTINGS SHALL BE FITCHER TEES FIXED WITH THE SWEEPED BRANCH IN LINE WITH THE FLOW.

EXCESS SOLDER & FLUX SHALL BE WIPED FROM CAPILLARY JOINTS WHILEST HOT. TO LEAVE A CLEAN UNBLEMISHED JOINT. CONNECTIONS TO FITTINGS & APPLIANCES SHALL BE MADE WITH APPROPRIATE UNION FITTINGS & RUNNING UNIONS SHALL BE INTRODUCED AS DIRECTED ON PIPE RUNS TO FACILITATE DISMANTLING & ACCESS. PLASTIC PIPES SHALL BE JOINTED & FIXED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS USING APPROPRIATE SOLVENT WELD CEMENT OR OTHER SPECIFIED JOINING COMPOUND. FIXING TO APPLIANCES SHALL BE BY APPROPRIATE UNION FITTINGS.

ALL BENDS AND OTHER CHANGES IN DIRECTION SHALL BE MADE WITH FITTINGS. HEAT BENDING OR OTHER METHODS WILL NOT BE ACCEPTED. ALL TEE-PIECE FITTINGS SHALL BE FITCHER TEES FIXED WITH THE SWEEPED BRANCH IN DIRECTION OF FLOW PIPES AND SHALL BE SUPPORTED AT INTERVALS FOR EXCEEDING 2'-0" WITH CLIPS & BRACKETS THAT ACCOMMODATE THERMAL MOVEMENT. SOIL, VENT & ANTI-SIPHONAGE PIPE WHERE NOT ALREADY SPECIFIED WILL BE LAID, JOINTED & FIXED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

PIPEWORK GENERALLY

ALL PIPE-WORK SHALL BE FIXED TO TRUE & STRAIGHT LINES. PIPE RUNS IN A HORIZONTAL PLANE SHALL BE SET TO EVEN & CONSISTENT FALLS. VERTICAL RUNS SHALL BE VERTICAL IN BOTH AXIS.

ALL PIPE SUPPORTS SHALL BE SECURELY SCREW FIXED TO RAW-PLUGGED HOLES OR TIMBER BACKGROUNDS.

SANITARY GREY WATER PUMP

TO PUMP WASTE WATER FROM BREAK ROOM SINK VERTICALLY THROUGH CEILING AND THEN TIE INTO EXISTING PLUMBING DRAIN LINES FROM NEAREST CONNECTION. PLUMBER TO FOLLOW INSTRUCTIONS FROM INSTALLATION MANUAL DURING INSTALLATION.

* PURPLE SYMBOLS & ANNOTATIONS REFER TO MECH SCOPE OF WORKS

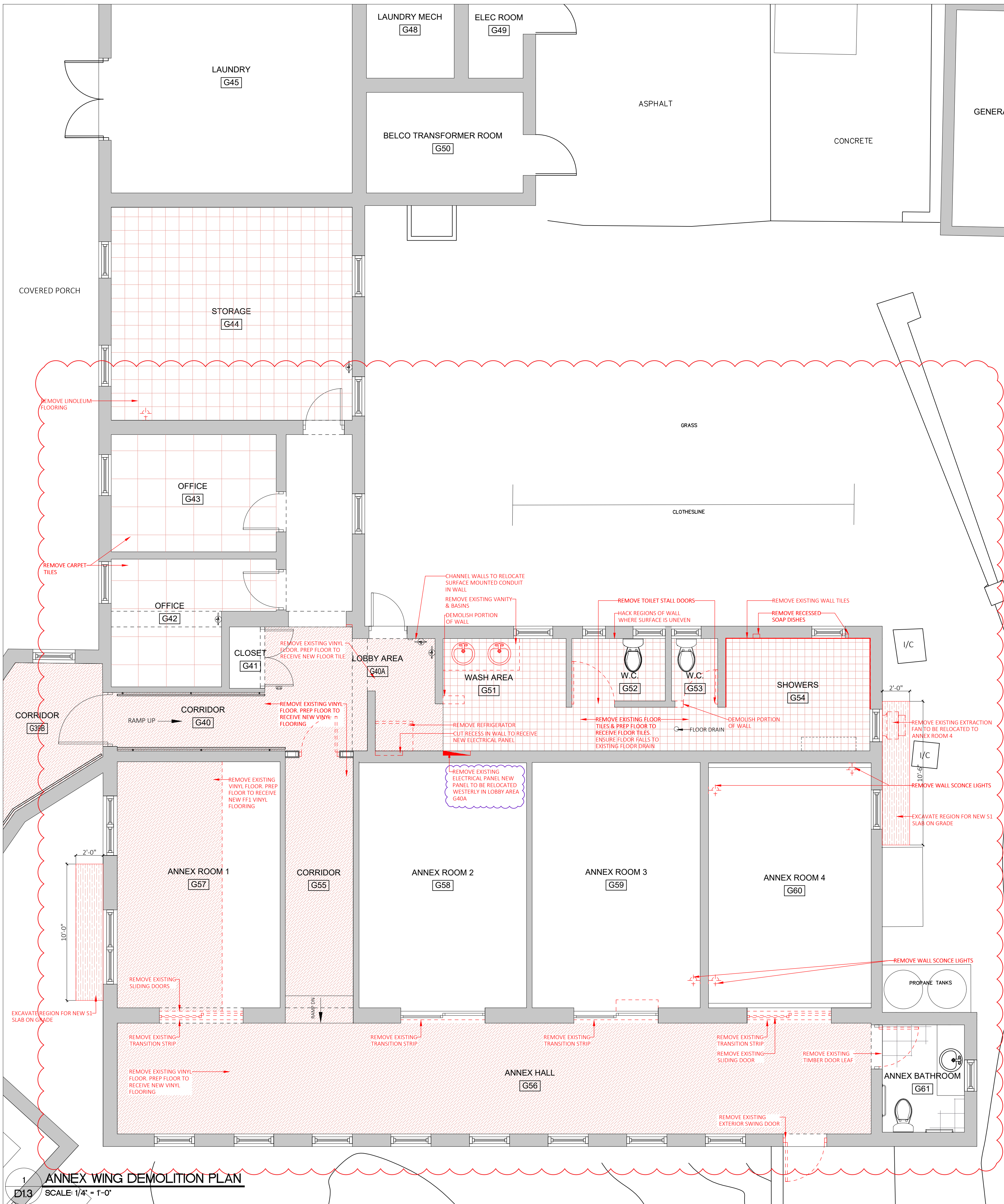
* GREEN SYMBOLS & ANNOTATIONS REFER TO ELECTRICAL SCOPE OF WORKS

* BLUE SYMBOLS & ANNOTATIONS REFER TO PLUMBING SCOPE OF WORKS

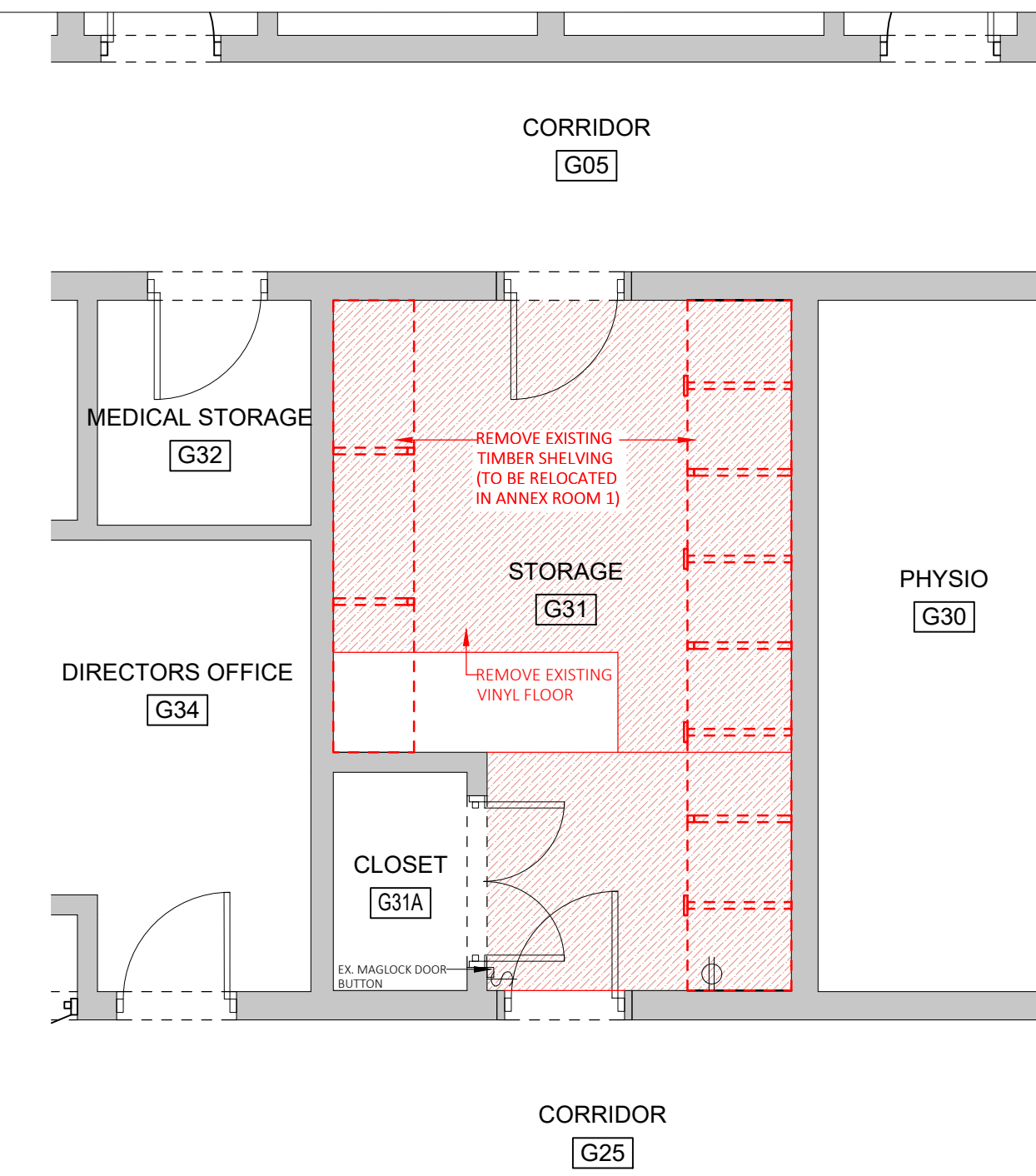


ELECTRICAL LEGEND	
	ELECTRICAL METER
	LIGHT SWITCH
	DIMMER SWITCH
	LIGHT FAN SWITCH
	HEAT VENT LIGHT SWITCH
	DUPLEX RECEPT
	QUAD RECEPT
	FLOOR DUPLEX
	220/240 VOLT RECEPTACLE
	WET LOCATION LIGHT
	WET LOCATION LIGHT DIRECTIONAL (CIRCULAR)
	GROUND FAULT CIRCUIT INTERRUPTER
	COUNTER HEIGHT
	ELECTRICAL MAIN PANEL
	EXTERIOR POST LIGHT FIXTURE
	EXTERIOR WALL MOUNTED LIGHT FIXTURE
	INTERIOR WALL MOUNTED LIGHT FIXTURE
	SURFACE MOUNTED CEILING FIXTURE
	RECESSED LIGHTING 6" (CIRCULAR & SQUARE)
	RECESSED LIGHTING SEALED UNIT (W/L)
	UNDER CABINET LIGHTING
	TRACK LIGHT FIXTURE
	SECURITY LIGHT
	CABLE OUTLET
	TELEPHONE/GATA OUTLET
	TELEPHONE OUTLET
	METER
	BROAN VENTILATION FAN
	HEAT VENT LIGHT
	AIR CONDITIONING UNIT
	A/C DISCONNECT BOX
	FAN LIGHT - CEILING MOUNT

FIRE PREVENTION REQUIREMENTS	
	SMOKE DETECTOR
	HEAT DETECTOR
	WALL MOUNTED FIRE EXTINGUISHER
	FIRE ALARM



1 ANNEX WING DEMOLITION PLAN
D1.3 SCALE: 1/4" = 1'-0"



2 BREAK ROOM DEMOLITION PLAN
D1.3 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

Remove existing construction as indicated on drawings (walls, partitions, structural systems, mechanical and electrical services, and associated items). All debris shall be disposed at legal dumpsites. Finishes to be removed as required to suit new proposal - Refer to Finishes Schedule.

Care shall be taken during demolition of existing building so as not to unduly disturb any part of the existing structure that is to remain. Demolition works shall be monitored by either the architect or engineer.

All excavation and earthwork is to be carried out in accordance with the specifications for this package.

Existing Lintels - Care to be taken not to damage existing lintels over doors, windows & other openings. Review condition of existing lintels on site. If existing lintels are stone, allow contingency for possible replacement with standard lintel detail. Verify on site.

Disconnect all power and illumination as necessary for the completion of removal operations. Abandoned services not to be extended or reused are to be removed. Reroute services which must be maintained. Remove from site items not to be Owner's salvage (client to confirm)

Disconnect all service piping necessary for the completion of removal operations. Cap and abandon service lines not to be extended or reused. Reroute services which must be maintained. Refer to Mechanical & Electrical drawings for details.

All removed equipment items, walls, structural, mechanical, electrical and finish materials other than 'Owner salvaged' items shall be the sole responsibility of the Contractor, and shall be carefully & appropriately removed from the site.

Existing utilities and services lines discovered during removal operations shall be immediately reported to the Project Manager and Contractor responsible for particular utility or service involved.

Provide suitable protection for adjacent existing areas before, during and following removal & demolition operations.

Rubbish and debris shall be carefully removed using adequately enclosed containers to prevent unwanted debris spill during removal.

No material shall be burned, stored or sold in either the building or on the site. All removed material and debris, unless identified otherwise, shall become the Contractor's property and shall be removed immediately and completely from the building and the site.

Remove no structural component without prior approval of the Architect or Structural Engineer. Braces and shores shall be provided where necessary to preserve integrity of existing structure.

All rock cuts greater than 6' (six feet) in height shall be certified by a registered structural engineer.

Backfill material shall be free from organic matter, construction debris and large rocks (greater than 3" (three inches)). The backfill shall be placed in layers, not greater than 6" (six inches), watered and compacted.

Do not backfill against walls retaining earth until elements providing lateral support are completed. Place backfill simultaneously on both sides of other walls below grade.

All excavations shall be adequately dewatered before concrete is placed.

Leave the interior clean, ready for further construction.

** NOTE HIDDEN LINES (RED DASHED LINES) SHOW DEMOLITION AREAS

GENERAL ASBESTOS ABATEMENT NOTES

All asbestos abatement work shall conform to all applicable code requirements (The Department of Health's Asbestos Removal Policy). Asbestos is to be removed in a safe manner and shall be contained/covered to prevent air contamination. The asbestos material shall then be transported to the Government Quarry for safe disposal.

All openings and penetrations including but not limited to windows and doors shall be covered with a minimum of two layers of 6mil poly sheets.

Upon completion of the abatement work, the contractor shall submit copies of all waste manifest and landfill receipts to the architect/designer as part of the required closeout documents.

GENERAL ROOFING DEMOLITION NOTES

Existing roofing sheets/panels to be removed completely, roof framing and sheathing and connections to remain.

Contractor shall flush and snake all roof drains thoroughly and block all rain water pipes to prevent debris from entering prior to beginning of any demolition work.

Upon removal of existing roofing, the contractor shall notify the architect/designer/engineer to inspect the condition of existing roof structure bond beams and walls.

The contractor shall dispose of all unwanted material and construction debris off site in accordance with contract specifications.

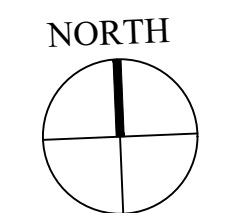


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SCALE: AS NOTED

SURVEY

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DESIGN

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DRAWING

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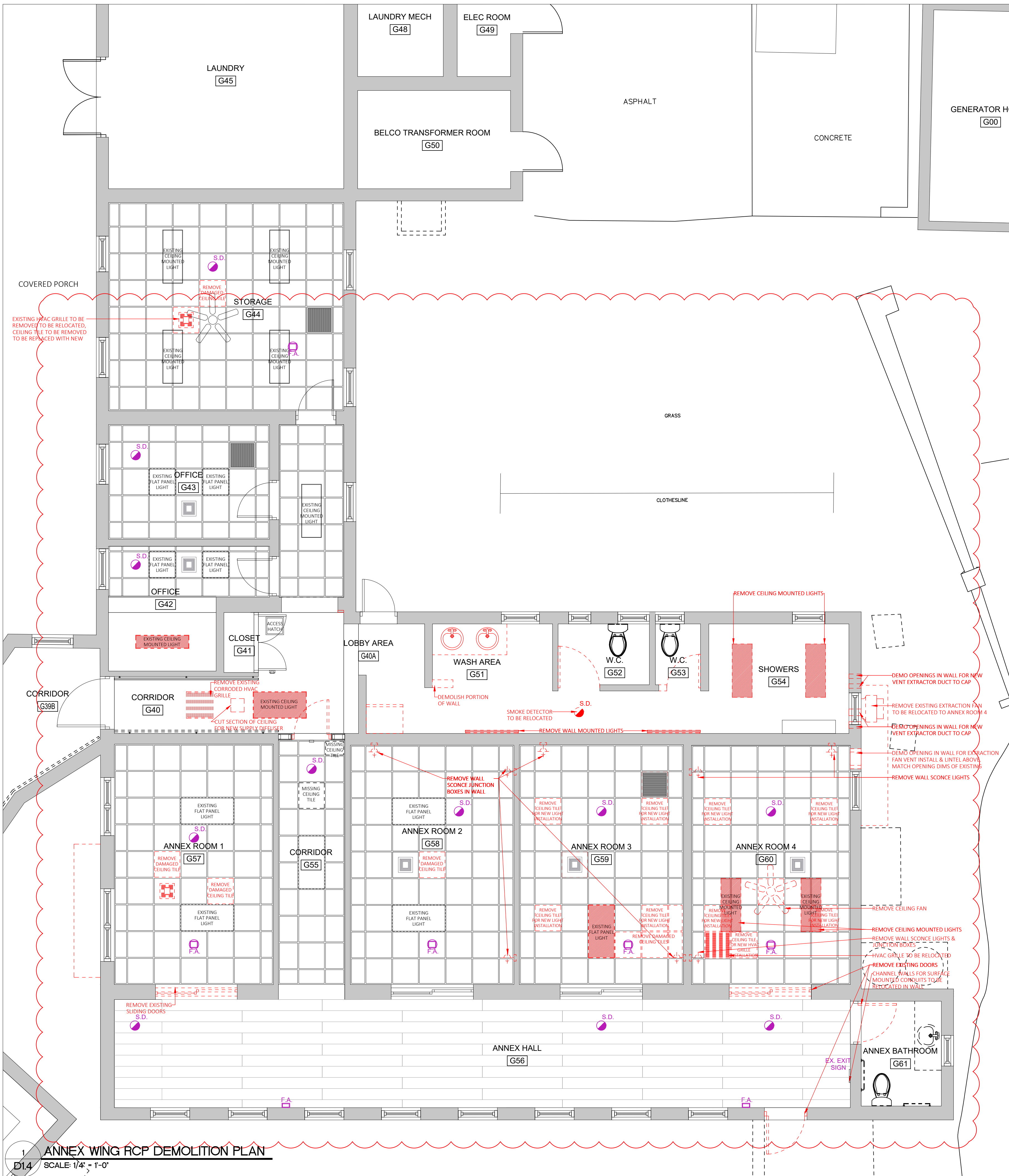
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Sheet Title:
**ANNEX WING & BREAK ROOM
DEMOLITION PLANS**

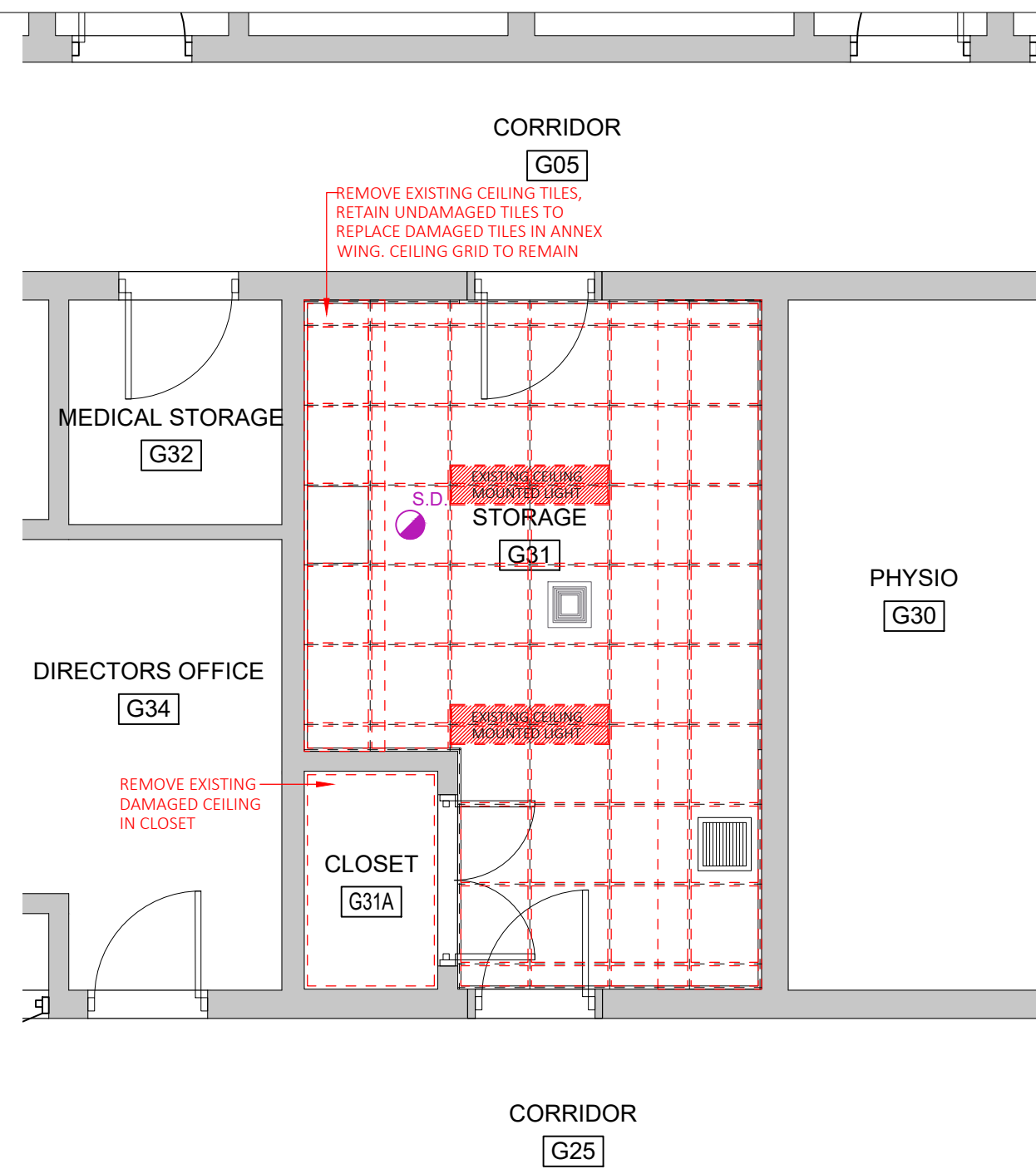
Revisions: _____ Sheet Number: _____



D1.3



ANNEX WING RCP DEMOLITION PLAN
D1.4 SCALE: 1/4" = 1'-0"



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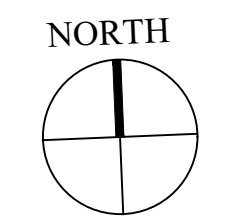


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BERMUDA, MA 01

Sheet Title:
ANNEX WING & BREAK ROOM REFLECTED CEILING DEMOLITION PLANS

Revisions: _____ Sheet Number: _____



D1.4



GENERAL NOTES

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2. THIS DRAWING IS NOT TO BE SCALED.
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4. PRIOR TO ORDERING OR FABRICATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FIELD DIMENSIONS.

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1	Issued for Review	24 July 2020
2	Issued for Review	1 Dec 2020
3	Issued for Review	7 Dec 2020
4	Issued for Review	19 Jan 2021
5	Issued for Review	4 Oct 2021

SCALE: AS NOTED

SURVEY

Prepared By: _____ Date: _____

DESIGN

Prepared By: KGW Date: _____

CHECKED BY:

Checked By: _____ Date: _____

DRAWING

Prepared By: KGW Date: _____

CHECKED BY:

Checked By: _____ Date: _____

APPROVED BY:

Approved By: _____ Date: _____

PROJECT NUMBER:

200221LH

PROJECT TITLE:

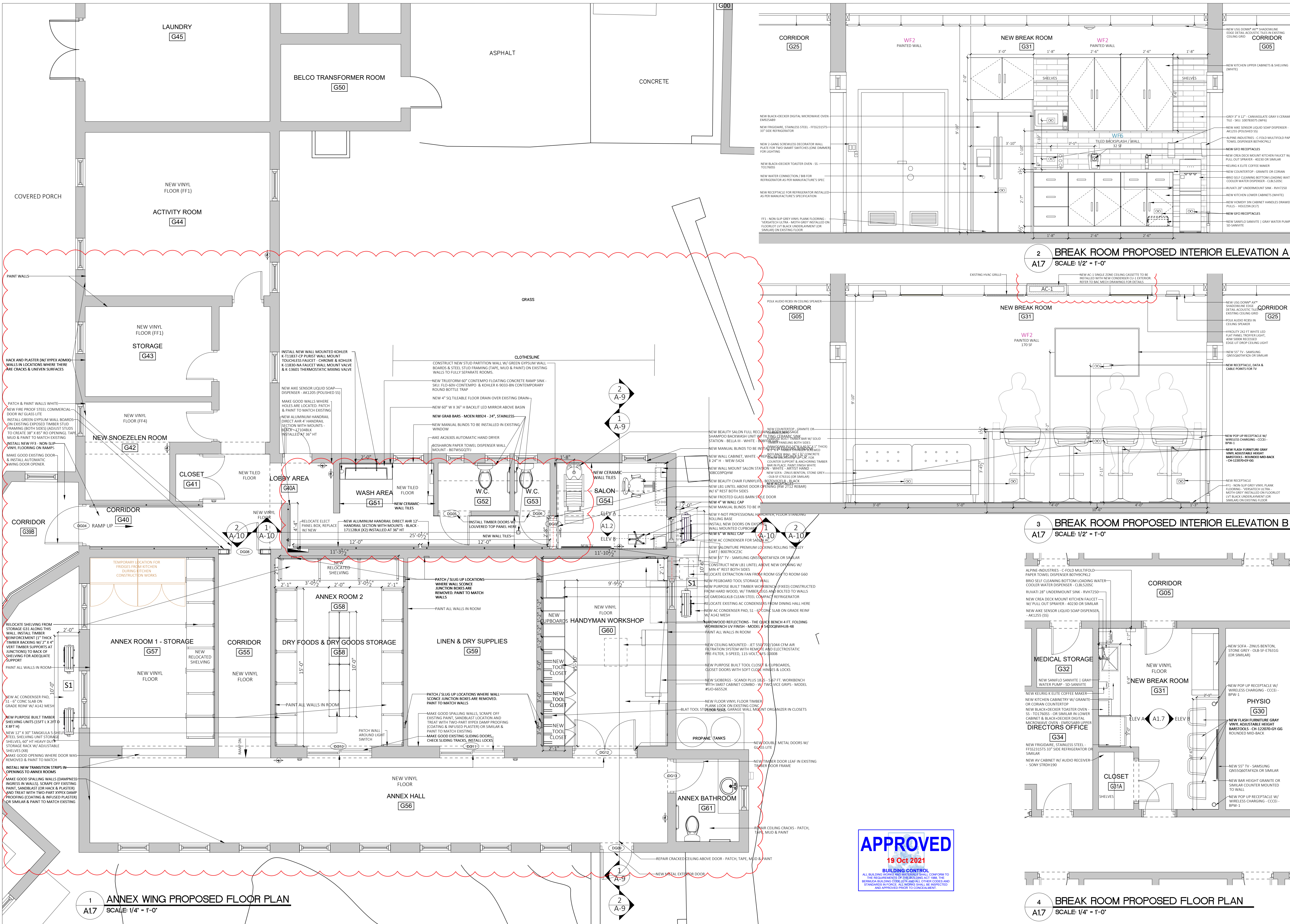
Lefroy House Care Community Renovation Works

SHEET TITLE:

ANNEX WING & BREAK ROOM PROPOSED FLOOR PLANS & BREAK ROOM INTERIOR ELEVATIONS

REVISIONS:

Revisions: _____ Sheet Number: **A1.7**



APPROVED
19 Oct 2021
BUILDING CONTROL
ALL BUILDING WORKS AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING ACT 2018 AND THE BUILDING REGULATIONS 2018. THE APPLICABLE CODES AND STANDARDS IN FORCE. ALL WORKS SHALL BE INSPECTED AND APPROVED PRIOR TO COMMENCEMENT.

4 BREAK ROOM PROPOSED FLOOR PLAN
A1.7 SCALE: 1/4" = 1'-0"

1 ANNEX WING PROPOSED FLOOR PLAN
A1.7 SCALE: 1/4" = 1'-0"



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Approved By: _____ Date: _____

Project Number:

200221LH

Project Title:

Lefroy House Care Community
Renovation Works

Lefroy House

7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:

ANNEX WING & BREAK ROOM
PROPOSED REFLECTED CEILING
PLANS (RCP)

Revisions:

7

Sheet Number:

A1.8

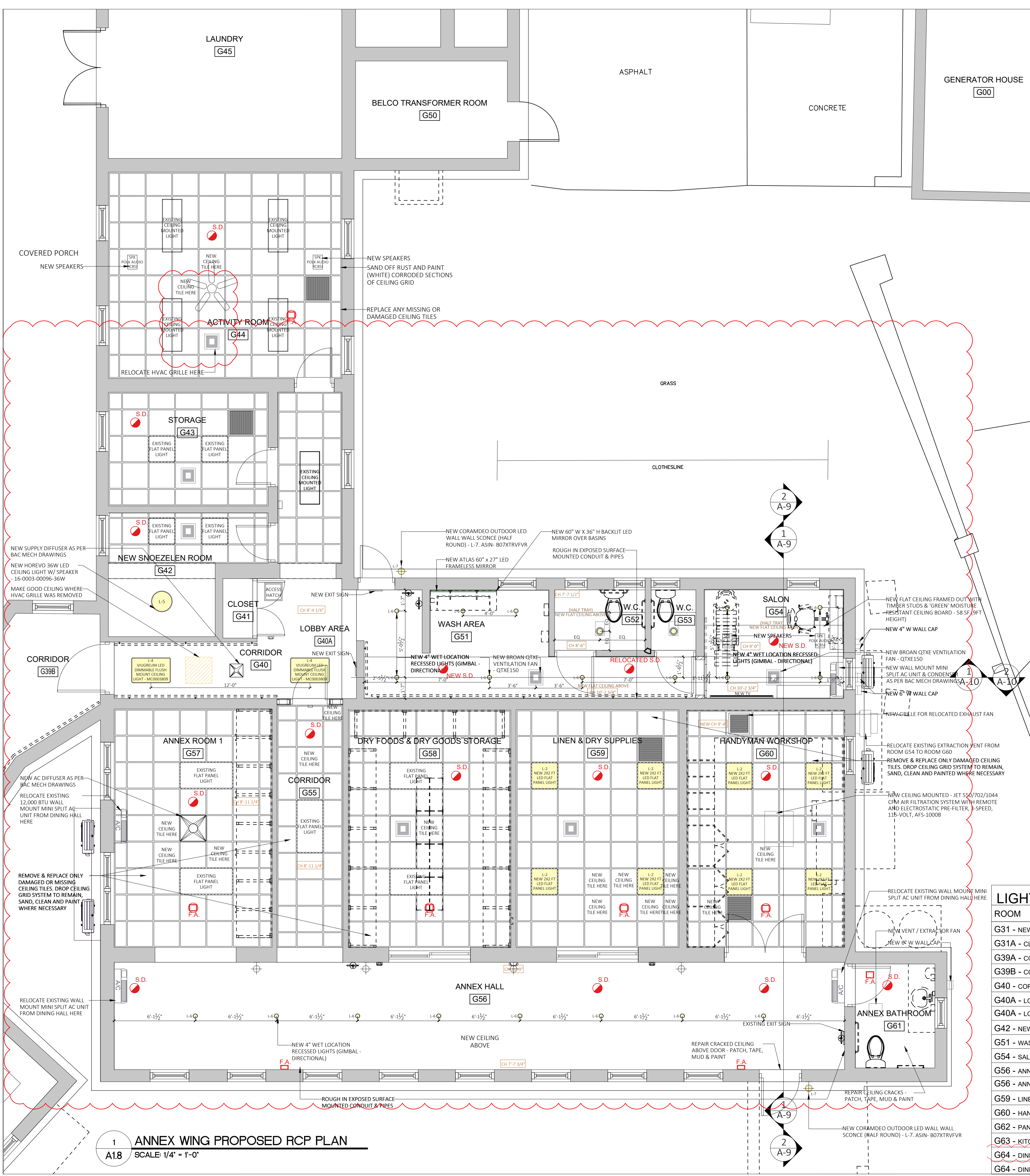
GENERAL RCP NOTES:

1. CONTRACTOR TO REVIEW EXISTING CEILING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPORT ANY INTERFERENCE WITH DUCTS, BEAMS, PIPES ETC IMMEDIATELY TO DESIGNER.
2. ALL MECHANICAL AND ELECTRICAL WORKS TO COMPLY WITH BERMUDA CODE REQUIREMENTS AND ALL AUTHORITIES HAVING JURISDICTION. ANY CHANGES TO BE REVIEWED WITH DESIGNER.
3. MECHANICAL CONTRACTOR RESPONSIBLE FOR ALL LABOUR AND MATERIALS TO COMPLETE THE NECESSARY HVAC ALTERATIONS.
4. WHERE REQUIRED PROVIDE FIRE DAMPERS AT ALL DUCTS PENETRATING FIRE SEPARATION.
5. ALL SWITCHES AND COVER PLATES TO MATCH EXISTING. MULTIPLE SWITCHES TO BE GANGED.
6. ALL EXISTING, NEW AND RELOCATED EMERGENCY EXIT SIGNS TO BE CONNECTED TO BASE BUILDING EMERGENCY SYSTEM.
7. PROTECT EXISTING CEILING SYSTEM AND LIGHT FIXTURE DURING CONSTRUCTION. CLEAN ALL LIGHT FIXTURES UPON COMPLETION.
8. NOMINATED MECHANICAL AND ELECTRICAL SUB CONTRACTORS TO REPLACE ANY DAMAGED TILES WITH NEW TILES AND RELOCATE EXISTING TILES IN AREAS AFFECTED BY THEIR WORK.
9. REUSE EXISTING LIGHT SWITCHES WHERE POSSIBLE. ENSURE SUFFICIENT SWITCHES ARE PROVIDED IN OPEN OFFICE AREAS. PROVIDE SEPARATE LIGHT SWITCH FOR NEW DOWNLIGHTS AND WALL SCONCES.
10. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWING.
11. ALL NEW DRYWALL CEILINGS TO BE 1/2" THICK USG DRYWALL FIXED TO GALVANIZED STEEL FRAMING. TAPE, FILL AND SAND READY FOR PAINT FINISH.
12. ANY PROPOSED CHANGES AND/OR MODIFICATIONS DUE TO FIELD CONDITIONS MUST RECEIVE APPROVAL FROM DESIGNER AND MEP CONSULTANTS.
13. MECHANICAL SUBCONTRACTOR TO ARRANGE FOR AN INSPECTION AND BALANCING REPORT AFTER PROJECT COMPLETION. UPON COMPLETION, THE HVAC SYSTEM IS TO BE FULLY BALANCED TO THE SATISFACTION OF THE OWNER.
14. ELECTRICAL CONTRACTOR TO SUBMIT CUT SHEETS ON ALL FIXTURES FOR DESIGNER/ARCHITECT REVIEW.
15. ALL SWITCHES ON PARTITIONS TO BE MOUNTED VERTICALLY 8" FROM DOOR FRAME OR AS NOTED ON DRAWING.
16. DIMENSIONS ARE FROM THE FACE OF THE WALL TO CENTER OF THE FIXTURE (U.O.N.). RECESSED DOWNLIGHTS ARE TO BE INSTALLED IN CENTER OF CEILING TILE UNLESS DIMENSIONED OTHERWISE.
17. ALL FIRE DETECTORS AND DIFFUSERS MUST NOT BE WITHIN 3'-0" ON CENTRE OF EACH OTHER. CONTRACTOR TO COORDINATE W/ FIRE ALARM TECHNICIAN.

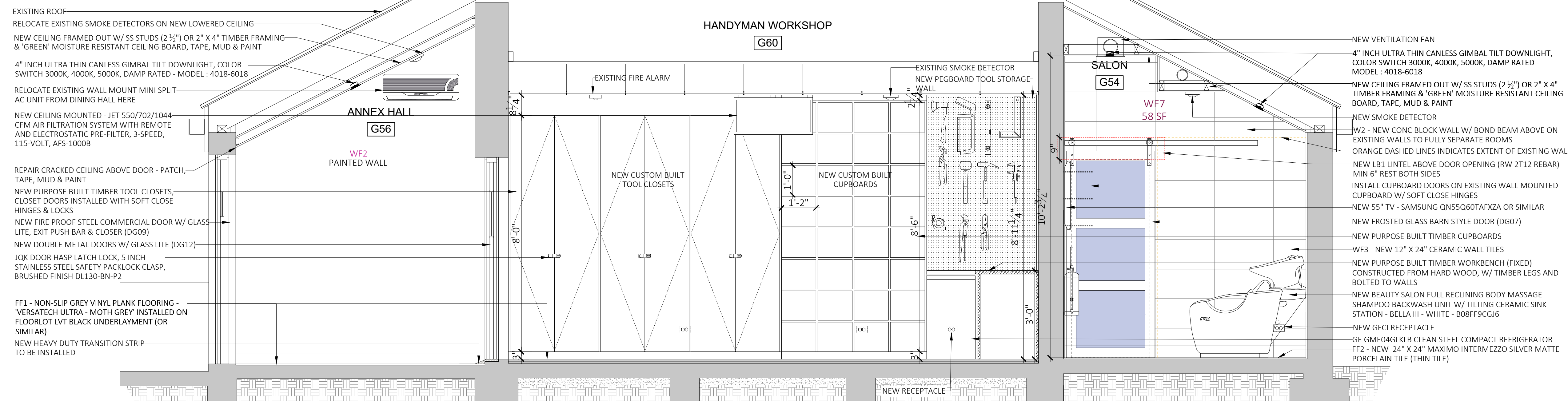
2 NEW BREAK ROOM PROPOSED RCP PLAN
A1.8 SCALE 1/4" = 1'-0"

LIGHTING SCHEDULE

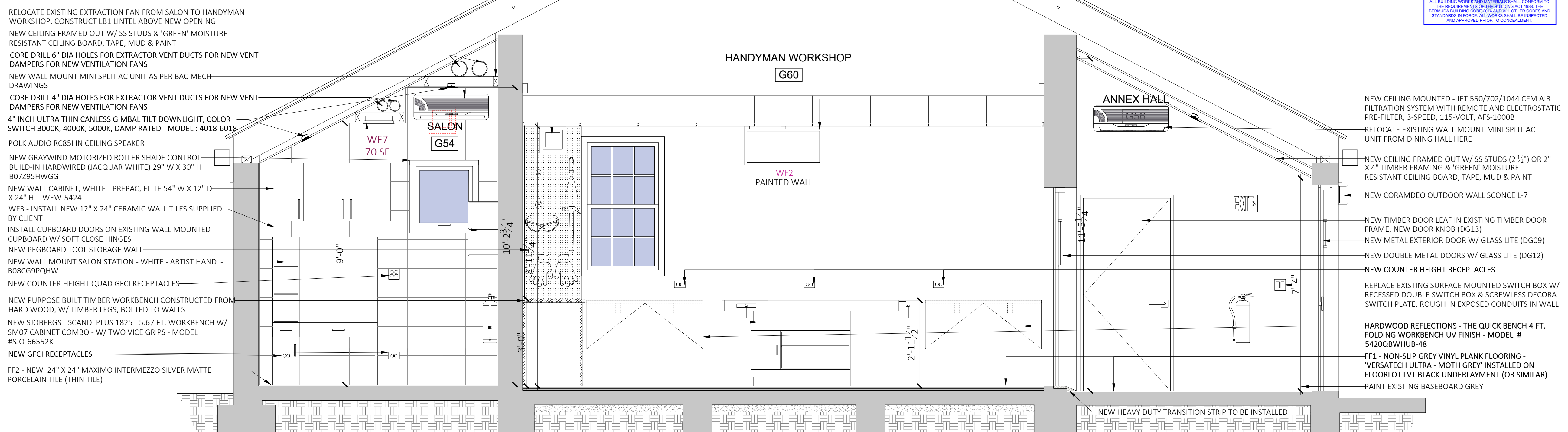
ROOM	REF	DESCRIPTION	MANUFAC.	MODEL	COLOR TEMP	ORDERED FROM	QUANTITY	COMMENTS
G31 - NEW BREAK ROOM	L-2	WHITE LED FLUSH MOUNT TROFFER	HYKOLITY	PN22-40W5K	5000K	PM	3	2' x 2' 140W (5000K) RECESSED BACK-LIT DROP CEILING LIGHT. DIMMABLE
G31A - CLOSET	L-6	4" CANLESS DIRECTIONAL/GIMBAL TILT DOWNLIGHT, DAMP RATED	ELITE LED LIGHTING	4018-6018	3000K - 5000K	PM	1	DIMMABLE DOWN TO 10%. CCT COLOR TURN SWITCH 3000K, 4000K, 5000K, 720 LUMEN
G39A - CORRIDOR	L-4	LED FLUSH MOUNT CEILING LIGHT	VIUGREUM	MC0003809	3000K - 5000K	PM	2	DIMMABLE 72W 4320 LUMENS SQUARE PANEL LIGHT WITH REMOTE CONTROL
G39B - CORRIDOR	L-4	LED FLUSH MOUNT CEILING LIGHT	VIUGREUM	MC0003809	3000K - 5000K	PM	4	DIMMABLE 72W 4320 LUMENS SQUARE PANEL LIGHT WITH REMOTE CONTROL
G40 - CORRIDOR	L-4	LED FLUSH MOUNT CEILING LIGHT	VIUGREUM	MC0003809	3000K - 5000K	PM	1	DIMMABLE 72W 4320 LUMENS SQUARE PANEL LIGHT WITH REMOTE CONTROL
G40A - LOBBY AREA	L-4	LED FLUSH MOUNT CEILING LIGHT	VIUGREUM	MC0003809	3000K - 5000K	PM	1	DIMMABLE 72W 4320 LUMENS SQUARE PANEL LIGHT WITH REMOTE CONTROL
G40A - LOBBY AREA (EXTERIOR)	L-7	OUTDOOR LED WALL SCONCE	CORAMEDEO	ASIN- B07XTRVFR	3000K	PM	1	HALF ROUND, 75W OF LIGHT, 950 LUMENS, ALUMINUM WITH WHITE PCL LENS
G42 - NEW SNOEZELEN ROOM	L-5	COLOR CHANGING LED CEILING LIGHT W/ SPEAKER	HOREVO	16-0003-00096-36W	6500K	PM	1	DIMMABLE 36W 19.7" DIA COLOR CHANGING AND SPEAKER W/ REMOTE & PHONE APP
G51 - WASH AREA	L-6	4" CANLESS DIRECTIONAL/GIMBAL TILT DOWNLIGHT, DAMP RATED	ELITE LED LIGHTING	4018-6018	3000K - 5000K	PM	7	DIMMABLE DOWN TO 10%. CCT COLOR TURN SWITCH 3000K, 4000K, 5000K, 720 LUMEN
G54 - SALON	L-6	4" CANLESS DIRECTIONAL/GIMBAL TILT DOWNLIGHT, DAMP RATED	ELITE LED LIGHTING	4018-6018	3000K - 5000K	PM	4	DIMMABLE DOWN TO 10%. CCT COLOR TURN SWITCH 3000K, 4000K, 5000K, 720 LUMEN
G56 - ANNEX HALL	L-6	4" CANLESS DIRECTIONAL/GIMBAL TILT DOWNLIGHT, DAMP RATED	ELITE LED LIGHTING	4018-6018	3000K - 5000K	PM	8	DIMMABLE DOWN TO 10%. CCT COLOR TURN SWITCH 3000K, 4000K, 5000K, 720 LUMEN
G56 - ANNEX HALL (EXTERIOR)	L-7	OUTDOOR LED WALL SCONCE	CORAMEDEO	ASIN- B07XTRVFR	3000K	PM	1	HALF ROUND, 75W OF LIGHT, 950 LUMENS, ALUMINUM WITH WHITE PCL LENS
G59 - LINEN & DRY SUPPLIES	L-2	WHITE LED FLUSH MOUNT TROFFER	HYKOLITY	PN22-40W5K	5000K	PM	4	2' x 2' 140W (5000K) RECESSED BACK-LIT DROP CEILING LIGHT. DIMMABLE
G60 - HANDYMAN WORKSHOP	L-2	WHITE LED FLUSH MOUNT TROFFER	HYKOLITY	PN22-40W5K	5000K	PM	4	2' x 2' 140W (5000K) RECESSED BACK-LIT DROP CEILING LIGHT. DIMMABLE
G62 - PANTRY	L-4	LED FLUSH MOUNT CEILING LIGHT	VIUGREUM	MC0003809	3000K - 5000K	PM	1	DIMMABLE 72W 4320 LUMENS SQUARE PANEL LIGHT WITH REMOTE CONTROL
G63 - KITCHEN	L-2	WHITE LED FLUSH MOUNT TROFFER	HYKOLITY	PN22-40W5K	5000K	PM	8	2' x 2' 140W (5000K) RECESSED BACK-LIT DROP CEILING LIGHT. DIMMABLE
G64 - DINING HALL & SITTING ROOM	L-2	WHITE LED FLUSH MOUNT TROFFER	HYKOLITY	PN22-40W5K	5000K	PM	32	2' x 2' 140W (5000K) RECESSED BACK-LIT DROP CEILING LIGHT. DIMMABLE
G64 - DINING HALL & SITTING ROOM	L-3	TRIMLESS PLASTER LED - 4" SQ	LG-8018		3000K	PM	24	4" SQUARE PLASTER RECESSED DOWNLIGHT, DIMMABLE



1 ANNEX WING PROPOSED RCP PLAN
A1.8 SCALE 1/4" = 1'-0"



1 ANNEX WING PROPOSED SECTION A
SCALE: 1/2" = 1'-0"



2 ANNEX WING PROPOSED SECTION B
SCALE: 1/2" = 1'-0"

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SCALE: AS NOTED

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Prepared By:	Date:
KGW	--
Checked By:	Date:
--	--

DESIGN	
Prepared By:	Date:
KGW	--
Checked By:	Date:
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Approved By: -

Project Number: 200221LH

Project Title: Lefroy House Care Community Renovation Works

LEFROY HOUSE
7 HEDDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title: ANNEX SALON, BATHROOM, HALL & HANDYMAN WORKSHOP SECTIONS



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SCALE: AS NOTED

SURVEY

Prepared By: _____ Date: _____

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DRAWING

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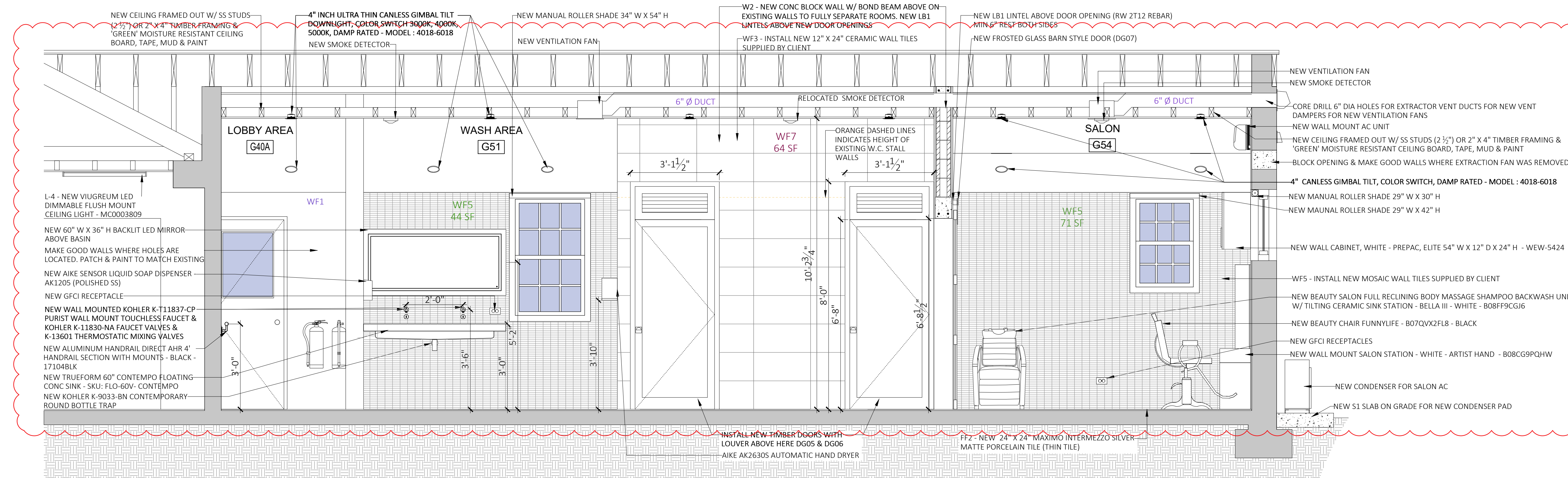
Project Title:

**Lefroy House Care Community
Renovation Works**

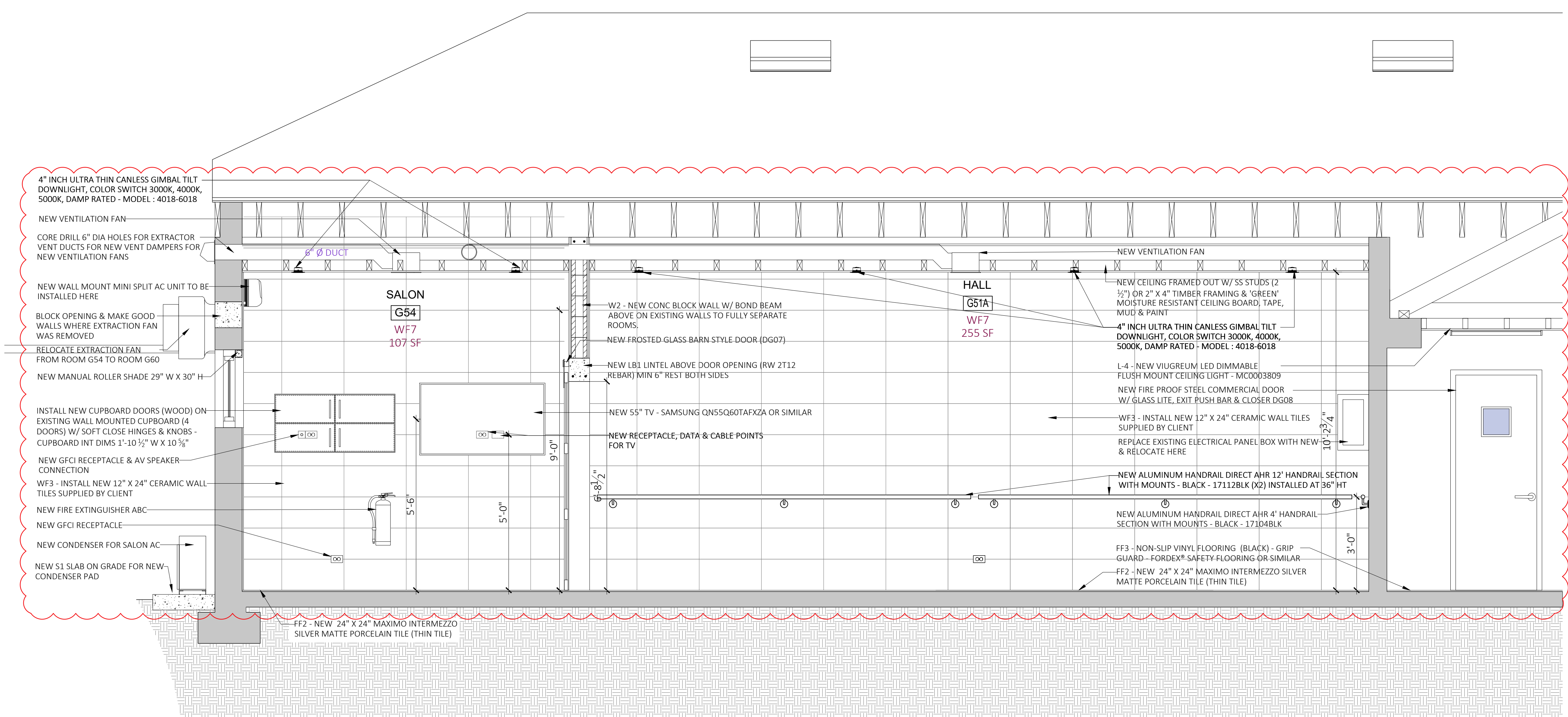
LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
ANNEX WING SECTIONS

Revisions: _____ Sheet Number: _____



1 ANNEX WING PROPOSED SECTION C
A1.10 SCALE 1/2" = 1'-0"



2 ANNEX WING PROPOSED SECTION D
A1.10 SCALE 1/2" = 1'-0"



SPECIFICATIONS/SCOPE OF WORK

1. TO DO A COMPLETE INSTALLATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF NFPA 70 (ELECTRICAL CODE), NFPA 72 (FIRE ALARM CODE), NFPA 101 (LIFE SAFETY CODE) AND THE STANDARD MINISTRY OF WORKS & ENGINEERING SPECIFICATIONS.
2. VISIT THE SITE WITH ENGINEER AND EXAMINE ALL EXISTING CONDITIONS, WHICH MAY AFFECT THE INSTALLATION OF THE FIRE ALARM EQUIPMENT. NO EXTRAS WILL BE CONSIDERED FOR FAILURE TO ALLOW FOR EXISTING CONDITIONS.
3. ALL ELECTRICAL MATERIALS AND EQUIPMENTS SHALL BE NEW, EXCEPT WHERE RE-USAGE OF EXISTING IS INDICATED BY ENGINEER, IS IN GOOD WORKING CONDITION AND IS MANUFACTURED TO STANDARD SPECIFICATIONS. ALL FIRE ALARM EQUIPMENT IS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
4. PROVIDE ALL TOOLS FOR INSTALLATION OF WORK SPECIFIED. OBTAIN OWNER'S PERMISSION FOR USE OF ELECTRICAL OUTLETS.
5. PROVIDE AND MAINTAIN INSURANCE TO PROTECT OWNER AND TRADE FROM ALL POSSIBLE CLAIMS.
6. WHEREVER ANY FIRE ALARM INSTALLATION REQUIRES ACCESSIBILITY, MAINTENANCE OR ADJUSTMENT, PROVIDE A MEANS OF ACCESS APPROVED BY THE OWNER.
7. ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND EXISTING CONDITIONS, MUST BE REFERRED TO THE ENGINEER BEFORE ANY WORK IS BEGUN.
8. THE DRAWINGS FOR THE FIRE ALARM INSTALLATION ARE DIAGRAMMATIC IN NATURE, INTENDED TO CONVEY THE SCOPE OF WORK ONLY. THE DRAWINGS DO NOT SHOW INTERIOR DESIGN, ARCHITECTURAL, MECHANICAL, STRUCTURAL OR BASE BUILDING DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A THROUGH KNOWLEDGE OF THE SAME BEFORE PROCEEDING WITH THE WORK.
9. CO-OPERATE AND CO-ORDINATE WITH OTHER TRADES IN LAYING OUT OF WORK SO AS NOT TO CONFLICT WITH WORK OF OTHER TRADES. CARRY OUT WORK PROMPTLY AS PER CONSTRUCTION SCHEDULE AND CO-ORDINATE WITH WORK OF OTHER TRADES.
10. ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR THE WORK SHALL BE INCLUDED UNDER THIS CONTRACT AND SHALL BE ACCEPTED TO THE OWNER BEFORE COMMENCEMENT OF WORK AND AFTER WORK IS COMPLETED.
11. WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE-STOPPING MATERIAL LISTED WITH, AND BEAR LABEL OF U.L., AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATED.
12. PROPER COORDINATION WITH MECHANICAL CONTRACTOR IS REQUIRED WITH REGARD TO HVAC SYSTEM ELECTRICAL SUPPLY DEVICES ETC.

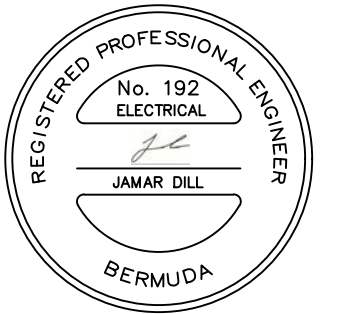


MINISTRY OF PUBLIC WORKS



ARCHITECTS & ESTATES SECTION DEPARTMENT OF PUBLIC LANDS & BUILDINGS

Government Administration Building,
3rd Floor | 30 Parliament Street | Hamilton, Bermuda HM12
Tel : (441) 297-7842



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Checked By: JD Date: 09 JUL 2021

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Checked By: JD Date: 09 JUL 2021

Approved By: -

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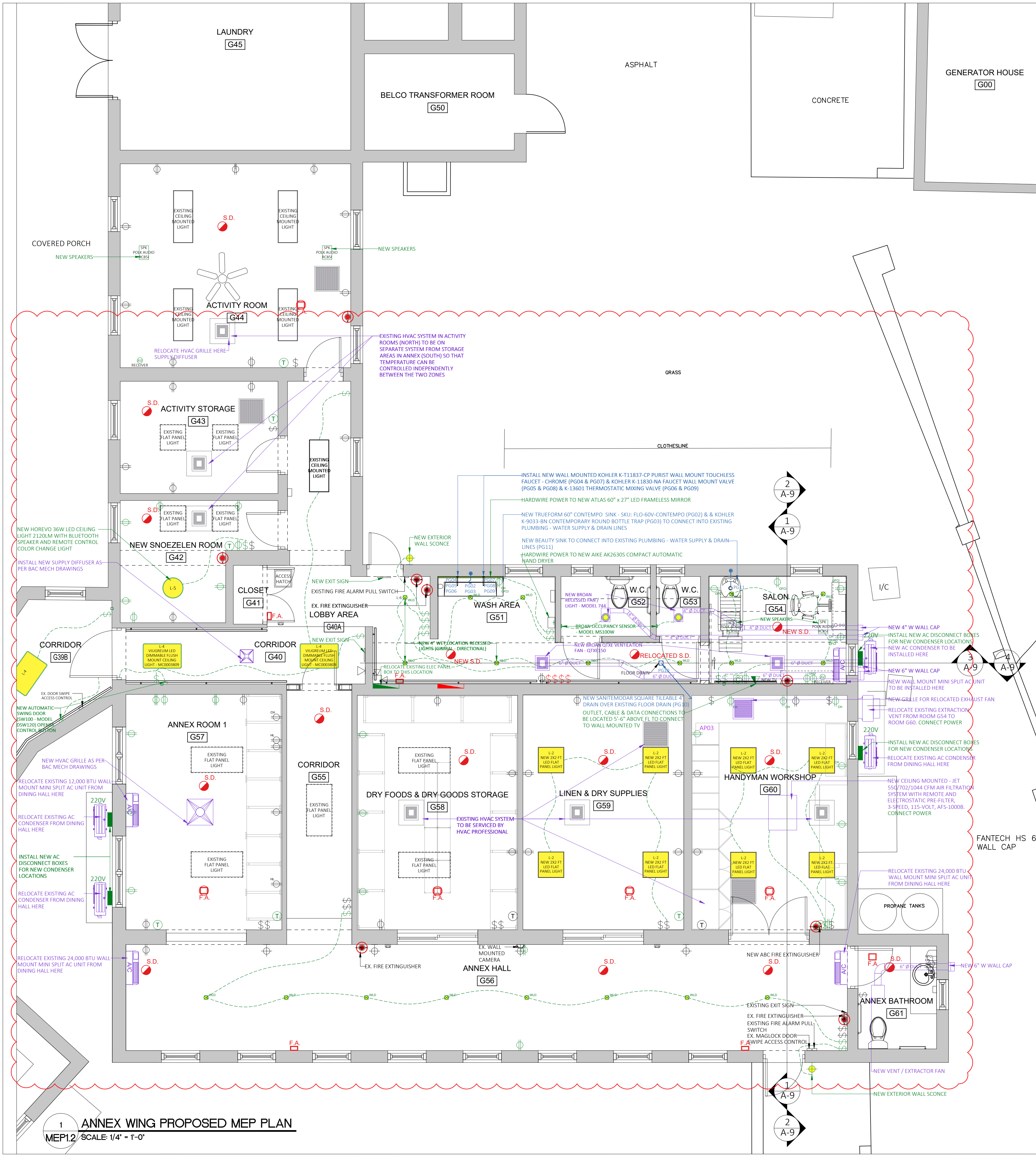
**Lefroy House Care Community
Renovation Works**

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
ELECTRICAL SPECIFICATIONS

Revisions: _____ Sheet Number: _____

MEP1.0



1 ANNEX WING PROPOSED MEP PLAN
MEP1.2 SCALE: 1/4" = 1'-0"

GENERAL PLUMBING NOTES

GENERAL CONTRACTOR TO CONFIRM PLUMBING LAYOUT CONFORMS WITH LATEST BUILDING CODES & ADVISE (W/ APPROVAL BY ARCHITECT) IF MORE APPROPRIATE/COST EFFICIENT SOLUTIONS CAN BE USED.

PLUMBER TO CONNECT EACH TOILET TO SEPARATE LINE. LINE TO BE VALVED BELOW GROUND FLOOR LEVEL.

ALL DRAINAGE LINES SCHEDULE 40 PVC. MIN FALL 1/8" PER FOOT. COLD WATER SUPPLY SCHEDULE 40 PVC. 1/2" DIA. TO EACH ROOM. 1/2" DIA TO EACH FIXTURE.

HOT WATER SUPPLY SCHEDULE 40 CPVC. 1/2" DIA. FROM H.W. HEATERS TO FIXTURES.

HOT WATER HEATERS C/W PRESSURE RELEASE VALVE & 3/4" DRAIN PIPE TO EXTERNAL WALL.

THE WHOLE OF THE PLUMBING INSTALLATION SHALL BE CARRIED OUT BY SKILLED TRADESMEN IN A PROPER & WORKMANLIKE MANNER.

PIPES, FITTINGS & ACCESSORIES

PIPES FOR USE ABOVE GROUND SHALL COMPLY WITH THE APPLICABLE PORTIONS OF THE NATIONAL USA & BERMUDA STANDARD PLUMBING CODES. UNDERGROUND PIPES SHOULD BE CLEARLY MARKED WITH BRIGHT COLOURED CONTINUOUS PRINTED PLASTIC TAPE, NOT LESS THAN 6" WIDE X 4MM THICK.

OVERFLOW PIPES SHALL BE UNPLASTICISED POLYVINYL CHLORIDE (UPVC). WASTE PIPES & THEIR FITTINGS SHALL BE OF CHLORINATED POLYVINYL CHLORIDE (CPVC). POTABLE WATER TO BE PVC. HOT WATER TO BE CPVC.

TRAPS TO APPLIANCES SHALL BE IN POLYPROPYLENE WITH COMPRESSION JOINTS TO PIPE-WORK. THEY SHALL PROVIDE A 3" WATER SEAL. UNLESS OTHERWISE AGREED BY ARCHITECT.

INSPECTIONS & APPROVALS

THE WHOLE OF THE PLUMBING WORKS SHALL BE CARRIED OUT IN A STRICT ACCORDANCE WITH THE STATUTORY AUTHORITY REGULATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL INSPECTIONS ARE REQUESTED & CARRIED OUT AT THE RELEVANT WORK STAGES. ALL PLUMBING SHALL BE PRE-PRESSURE TESTED PRIOR TO COMPLETION. POTABLE WATER SYSTEMS SHALL BE FLUSHED THREE MINIMUM.

SETTING OUT

THE POSITION OF ALL PIPE RUNS & INSTALLATIONS SHALL BE IN ACCORDANCE WITH CONTRACT DRAWINGS & SHALL BE AGREED ON SITE BY THE ARCHITECT / PM. C/W 'CLEAN-OUTS', 'SWEEP BENDS', & 'RODDING EYES' TO BE INSTALLED TO FACILITATE EASE OF UN-BLOCKING TECHNIQUES AFTER COMPLETION.

FIXING OF PIPE-WORK

TUBES & PIPES SHALL BE JOINED WITH APPROPRIATE CAPILLARY OR COMPRESSION FITTINGS & SHALL BE FIXED CLEAR OF ALL WALLS & SOFFITS WITH PROPRIETY BRACKETS OR CLIPS. SPACING SHALL NOT BE MORE THAN 8'-0" VERTICALLY & 5'-0" HORIZONTALLY.

ALL BENDS SHALL BE SWEEP BENDS OR EASY RIGHT ANGLE BENDS. MACHINE MADE BENDS IN PIPES SHALL HAVE SMOOTH BENDS & BACKS & UNCREASED OR UNCRIPPLED THROATS. ALL TEE PIECE FITTINGS SHALL BE PITCHER TEES FIXED WITH THE SWEEP BRANCH IN LINE WITH THE FLOW.

EXCESS SOLDER & FLUX SHALL BE WIPED FROM CAPILLARY JOINTS WHILEST HOT, TO LEAVE A CLEAN UNBLEMISHED JOINT. CONNECTIONS TO FITTINGS & APPLIANCES SHALL BE MADE WITH APPROPRIATE UNION FITTINGS & PLUMBING UNIONS SHALL BE INTRODUCED AS DIRECTED ON PIPE RUNS TO FACILITATE DISMANTLING & ACCESS. PLASTIC PIPES SHALL BE JOINED & FIXED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS USING APPROPRIATE SOLVENT WELD CEMENT OR OTHER SPECIFIED JOINING COMPOUND. FIXING TO APPLIANCES SHALL BE BY APPROPRIATE UNION FITTINGS.

ALL BENDS AND OTHER CHANGES IN DIRECTION SHALL BE MADE WITH FITTINGS. HEAT BENDING OR OTHER METHODS WILL NOT BE ACCEPTED. ALL TEE-PIECE FITTINGS SHALL BE PITCHER TEES FIXED WITH THE SWEEP BRANCH IN DIRECTION OF FLOW PIPES AND SHALL BE SUPPORTED AT INTERVALS FOR EXCEEDING 2'-0" WITH CLIPS & BRACKETS THAT ACCOMMODATE THERMAL MOVEMENT. SOIL, VENT & ANTISYPHONAGE PIPE WHERE NOT ALREADY SPECIFIED WILL BE LAID, JOINED & FIXED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

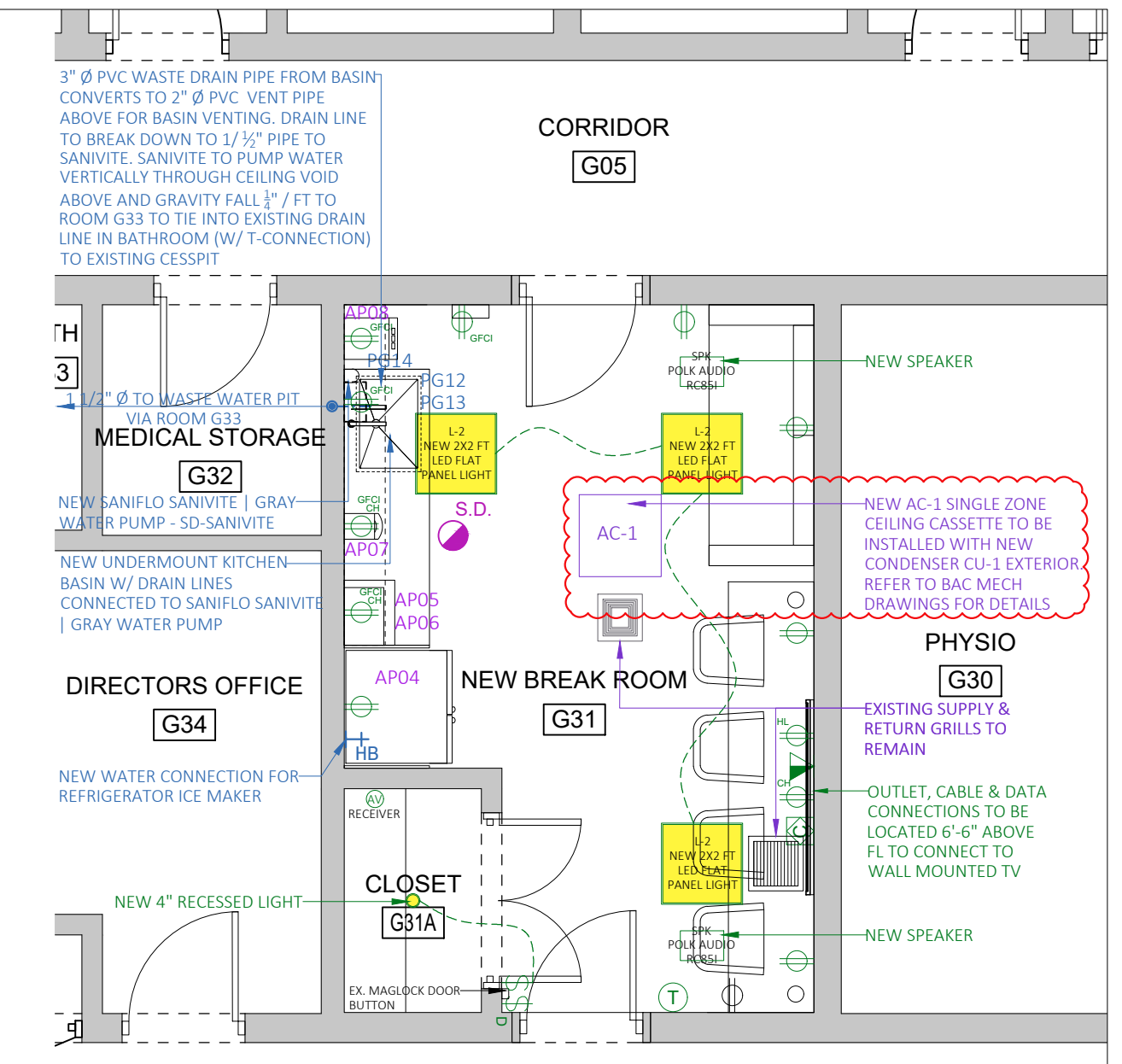
PIPEWORK GENERALLY

ALL PIPE-WORK SHALL BE FIXED TO TRUE & STRAIGHT LINES. PIPE RUNS IN A HORIZONTAL PLANE SHALL BE SET TO EVEN & CONSISTENT FALLS. VERTICAL RUNS SHALL BE VERTICAL IN BOTH AXES.

ALL PIPE SUPPORTS SHALL BE SECURELY SCREW FIXED TO RAW-PLUGGED HOLES OR TIMBER BACKGROUNDS.

SANITARY GREY WATER PUMP

TO PUMP WASTE WATER FROM BREAK ROOM SINK VERTICALLY THROUGH CEILING AND THEN TIE INTO EXISTING PLUMBING DRAIN LINES FROM NEAREST CONNECTION. PLUMBER TO FOLLOW INSTRUCTIONS FROM INSTALLATION MANUAL DURING INSTALLATION.



2 NEW BREAK ROOM PROPOSED MEP PLAN
MEP1.2 SCALE: 1/4" = 1'-0"

- * PURPLE SYMBOLS & ANNOTATIONS REFER TO MECH SCOPE OF WORKS
- * GREEN SYMBOLS & ANNOTATIONS REFER TO ELECTRICAL SCOPE OF WORKS
- * BLUE SYMBOLS & ANNOTATIONS REFER TO PLUMBING SCOPE OF WORKS

GENERAL ELECTRICAL NOTES

ALL FIXTURES TO BE AS SPECIFIED ABOVE (OR EQUAL & APPROVED BY ARCHITECT)

ALL WORK TO BE IN CONFORMANCE WITH THE BUILDING CODE (BOCA) AND NATIONAL ELECTRIC CODE (NEC).

2 1/2 LB WALL MOUNTED FIRE EXTINGUISHER TO BE INSTALLED IN KITCHENS.

FIRE ALARM INSTALLATION (AS APPLICABLE) TO BE IN ACCORDANCE WITH NATIONAL FIRE CODE NO. 70 (NFPA- NATIONAL ELECTRICAL CODE) - NATIONAL FIRE CODE NO. 72.

AIR CONDITIONING NOTES

CONTRACTOR TO COMPLETE ALL NECESSARY GENERAL WORKS FOR A/C SUB CONTRACTOR.



ELECTRICAL LEGEND	
	ELECTRICAL METER
	LIGHT SWITCH
	DIMMER SWITCH
	LIGHT FAN SWITCH
	VENT LIGHT SWITCH
	DUPLEX RECEPT
	QUAD RECEPT
	FLOOR DUPLEX
	220/240 VOLT RECEPTACLE
	WET LOCATION LIGHT
	WET LOCATION LIGHT DIRECTIONAL (CIRCULAR)
	GROUND FAULT CIRCUIT INTERRUPTER
	COUNTER HEIGHT
	ELECTRICAL MAIN PANEL
	EXTERIOR POST LIGHT FIXTURE
	EXTERIOR WALL MOUNTED LIGHT FIXTURE
	INTERIOR WALL MOUNTED LIGHT FIXTURE
	SURFACE MOUNTED CEILING FIXTURE
	RECESSED LIGHTING 6" (CIRCULAR & SQUARE)
	RECESSED LIGHTING SEALED UNIT (W/L)
	UNDER CABINET LIGHTING
	TRACK LIGHT FIXTURE
	SECURITY LIGHT
	CABLE OUTLET
	TELEPHONE/GATA OUTLET
	TELEPHONE OUTLET
	METER
	BROAN VENTILATION FAN
	HEAT VENT LIGHT
	AIR CONDITIONING UNIT
	A/C DISCONNECT BOX
	FAN LIGHT - CEILING MOUNT

FIRE PREVENTION REQUIREMENTS	
	SMOKE DETECTOR
	HEAT DETECTOR
	WALL MOUNTED FIRE EXTINGUISHER
	FIRE ALARM

MINISTRY OF PUBLIC WORKS

ARCHITECTS & ESTATES SECTION
DEPARTMENT OF PUBLIC LANDS & BUILDINGS

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GENERAL NOTES

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ISSUE / REVISION

No.	Issue / Revision	Date
1	Issued for Review	24 July 2020
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SCALE: AS NOTED

SURVEY
Prepared By: _____ Date: _____

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Prepared By: KGW Date: _____
Checked By: _____ Date: _____

DRAWING
Prepared By: KGW Date: _____
Checked By: _____ Date: _____

Approved By: _____

Project Number: 200221LH
Project Title: **Lefroy House Care Community Renovation Works**

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title: **ANNEX WING & NEW BREAK ROOM PROPOSED MEP PLAN**

Revisions: _____ Sheet Number: **MEP1.2**

WASTE MANAGEMENT NOTES:

- WOOD PRODUCTS EXCEPT THOSE THAT PRODUCE UNDESIRABLE EMISSIONS) SHALL BE DELIVERED TO THE TYNES BAY WASTE TREATMENT FACILITY.
- ALL METAL, PVC, GYPSUM BOARD SHALL BE DELIVERED TO THE AIRPORT WASTE MANAGEMENT FACILITY.
- ANY HAZARDOUS WASTE, SUCH AS PRODUCTS CONTAINING MERCURY (LIKE FLUORESCENT LAMPS MERCURY SWITCHES), PCB'S (LIGHT BALLASTS, TRANSFORMERS), OTHER CHEMICALS (PESTICIDES, OILS) SHALL NOT BE ACCEPTED AT ANY FACILITY, EXCEPT DURING HAZARDOUS WASTE DROP OFF DAYS OR BY PRIOR ARRANGEMENT WITH THE WASTE MANAGEMENT SECTION OF THE MINISTRY OF WORKS AND ENGINEERING.
- MISCELLANEOUS METAL SUCH AS DOOR FRAMES, WINDOW FRAMES, WITH OR WITHOUT GLASS, SHALL BE DELIVERED TO THE AIRPORT DUMP SITE.
- ALL WHITE GOODS, SMALL APPLIANCES, TV SETS, ETC. SHALL BE CLEARED OF CONTAMINANTS SUCH AS MERCURY, PCB, REFRIGERANTS, OILS, ETC. THEY SHALL BE CRATED OR FLATTENED BEFORE DELIVERY TO THE AIRPORT SITE.
- ALL UNSALVAGEABLE LUMBER IS TO BE STRIPPED OF PLASTER, EXPANDED WIRE MESH, STEEL ATTACHMENTS (EG. DOOR KNOBS, LOCK SETS, HINGES), ETC. (SMALL NAILS ARE ACCEPTABLE), THE LUMBER SHALL BE DELIVERED TO THE TYNES BAY SITE IN A SIZE READY FOR INCINERATION OR LARGER SIZES MAY BE STORED AND DELIVERED TO THE TYNES BAY SITE BY PRIOR ARRANGEMENT WITH THE MANAGER OF THE TYNES BAY SITE. ALTERNATIVELY, THE CONTRACTOR MAY APPLY TO THE MINISTRY OF ENVIRONMENT FOR PERMISSION TO BURN LUMBER.
- ALL PLASTER, PLASTER LATH, ETC. AND ASSOCIATED EXPANDED METAL MESH SHALL BE SIZED TO MANAGEABLE DIMENSIONS AND DELIVERED NOT MIXED WITH OTHER DEMOLITION WASTE TO THE AIRPORT SITE.
- CARPETS SHALL BE STRIPPED FROM THE SITE, ROLLED INTO SIZE NOT EXCEEDING 10" IN DIAMETER AND 10' IN LENGTH AND SHALL BE DELIVERED TO THE TYNES BAY SITE. GENERAL CONTRACTOR TO MAKE ARRANGEMENTS WITH FACILITY MANAGEMENT PRIOR TO DROP-OFF.
- ALL WOODEN FURNITURE/MILLWORK IS TO BE AS FREE OF METAL AS PRACTICAL AND TRANSPORTED TO THE TYNES BAY SITE.
- FURNITURE MADE OF POLYVINYL CHLORIDE (PVC) SHALL BE DELIVERED TO THE AIRPORT SITE.

GENERAL STRUCTURAL NOTES

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

CONTRACTOR TO MAKE GOOD ALL SURFACES AFFECTED BY CONSTRUCTION.

ANY SHARING AND/OR UNDER-PINNING REQUIRED DURING DEMOLITION AND CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DO NOT BACKFILL AGAINST WALLS RETAINING EARTH UNTIL ELEMENTS PROVIDING LATERAL SUPPORT ARE COMPLETED. PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF OTHER WALLS BELOW GRADE.

ALL FILL TO BE PACKED IN 2" LAYERS, WETTING AND MECHANICALLY ROLLING EACH LAYER TO FORM WELL COMPACTED EARTH TO RECEIVE THE SLABS.

CONTRACTOR TO CONTAIN ALL CONSTRUCTION MATERIALS TO IMMEDIATE AREA. ALL EXCAVATED MATERIAL TO BE LOADED INTO TRUCKS IMMEDIATELY.

ALL SLABS TO RECEIVE STEEL TROWEL FLOAT FINISH LEVELED TO 1/8" IN 10'-0" UNLESS OTHERWISE SPECIFIED.

ALL Poured CONCRETE TO BE 3000 PSI. STRENGTH AT 28 DAYS.

ALL LINTELS OVER OPENINGS TO BE SIZED AS SHOWN 3000 PSI. CONCRETE REINFORCED WITH 3 12MM Ø BARS CONTINUOUS 2" FROM BOTTOM, 12" MINIMUM BEARING ON EACH END, UNLESS OTHERWISE SPECIFIED.

ALL WALLS BELOW GRADE TO BE FILLED WITH 2000 PSI. CONCRETE.

ALL FOUNDATIONS TO BE TAKEN TO BEDROCK.

ALL CORNERS TO BE FILLED WITH 2000 PSI. CONCRETE 3 CELLS IN ALL DIRECTIONS.

ALL NAILS AND BOLTS FOR PERMANENT WORK TO BE GALVANIZED.

ALL WOOD SURFACES BURIED IN OR OR BELOW CONCRETE TO RECEIVE MIN. TWO COATS OF WOOD PRESERVATIVE.

ALL LUMBER TO BE WOLMANIZED.

ALL RAFTERS TO BE CHECKED OVER WALL PLATES.

CONTRACTOR TO SUPPLY ALL ROUGH HARDWARE FOR FRAMING.

GENERAL NOTES:

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO: -USE FIGURE DIM. IN PREFERENCE TO SCALING -VERIFY AND CHECK ALL DIMENSIONS PRIOR AND DURING CONSTRUCTION AND BEFORE ORDERING MATERIALS. -DETERMINE THE LOCATION OF EXISTING SERVICES AND REQUIRED CHANGES VERIFY ALL EXISTING CONDITIONS FOR COORDINATION OF WORK TO BE EXECUTED -TO REPORT ANY DISCREPANCIES OR SUBSTITUTIONS TO BE REVIEWED BY THE PROJECT MANAGER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE THAT HAVE NOT BEEN APPROVED PRIOR TO CONTRACT SIGNING.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, EXCEPT THE BUILDING PERMIT, INCLUDING WORK PERMITS FOR FOREIGN SUB-CONTRACTORS AND INSPECTIONS REQUIRED BY THE APPROPRIATE AUTHORITY TO ALLOW WORK TO PROCEED AND AS APPLICABLE FOR OCCUPANCY. THE CONTRACTOR WILL ALSO BE RESPONSIBLE TO ARRANGE FOR ANY REQUIRED INSPECTIONS BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES FOR PROJECTS OF THIS NATURE, AND SHALL CONFORM TO ALL CURRENT LAWS, RULES REGULATIONS AND CODE REQUIREMENTS APPLICABLE TO THE WORK REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- THE CONTRACTOR SHALL CONFORM TO THE LOCAL BUILDING CODES, LATEST EDITION, UL STANDARDS WHERE APPLICABLE, AND STANDARDS FOR THE PRESERVATION OF PUBLIC HEALTH AND CONSTRUCTION SAFETY, WHICH ARE, OR BECOME, IN FORCE DURING THE PERFORMANCE OF THE WORK. THE LAW OF THE PLACE OF BUILDING SHALL GOVERN THIS CONTRACT.
- IN THE EVENT OF CONFLICTS BETWEEN CONTRACT DOCUMENTS THE FOLLOWING SHALL APPLY: (A) FIGURED DIMENSIONS SHOWN ON A DRAWING SHALL GOVERN EVEN THOUGH THEY MAY DIFFER FROM DIMENSIONS SCALED ON THE SAME DRAWING. (B) AWINGS OF LARGER SCALE SHALL GOVERN OVER THOSE OF SMALLER SCALE OF THE SAME DATE. (C) SPECIFICATIONS SHALL GOVERN OVER DRAWINGS, (D) THE GENERAL CONDITIONS SHALL GOVERN OVER SPECIFICATIONS, (E) SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER THE GENERAL CONDITIONS, AND (F) THE EXECUTED AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR SHALL GOVERN OVER ALL DOCUMENTS.
- NOTWITHSTANDING THE FOREGOING, DOCUMENTS OF LATER DATE SHALL ALWAYS GOVERN.
- THE CONTRACTOR SHALL SECTION OFF THE CONSTRUCTION AREA SUCH THAT DUST IS KEPT TO A MINIMUM AND THE AREA OF WORK IS SECURED FROM UNAUTHORIZED ACCESS. THE CONTRACTOR IS TO KEEP THE SITE IN AN OCCUPIABLE AND OPERATIONAL STATE OF CLEANLINESS. OPERATIONAL SYSTEMS INCLUDE BUT ARE NOT LIMITED TO FIRE DETECTION & NOTIFICATION, HVAC AND ELECTRICAL SYSTEMS. IN THE EVENT SERVICE DISRUPTION AFFECTS OTHER TENANCIES, NOTICE OF SUCH SHALL BE PROVIDED BY THE CONTRACTOR AT LEAST 24 HOURS IN ADVANCE.
- THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCUMULATE AND SHOULD BE REMOVED AT THE END OF EACH WORKING DAY AND LAWFULLY DISPOSED OF.
- DRAWINGS ARE NOT TO BE SCALED
- THE CONTRACTOR SHOULD TAKE NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, AND EXISTING PROPERTY. ALL DISTURBED WORK SHALL BE MADE GOOD TO MATCH EXISTING WORK OR AS DIRECTED BY THE PROJECT MANAGER.
- ENSURE ALL EXISTING SURFACES IN THE GROUND FLOOR LOBBY AND ELEVATOR ARE WELL PROTECTED DURING CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION WILL BE PATCHED AND MADE NEW AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE SECURE EACH DAY THAT WORK IS BEING PERFORMED.
- PROVIDE MILLWORK SHOP DRAWINGS.
- CUTTING AND PATCHING**
-ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR WORK SHALL BE INCLUDED UNDER THIS CONTRACT AND BE ACCEPTABLE TO THE ARCHITECT/OWNER.
-WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE STOPPING MATERIAL LISTED WITH AND BEAR LABEL OF CSA AND U.L.C. AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATION.

SCOPE OF WORK NOTES:

- LOCATION:** THE LOCATION OF SELECTIVE DEMOLITION TO THE BUILDING STRUCTURE WILL NORMALLY BE INDICATED ON THE DRAWINGS AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- CONDITION OF STRUCTURE:** THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY DEMOLITION OR CONSTRUCTION WORK.
- TEMPORARY SIGNAGE:** DURING DEMOLITION OR ALTERATION WORK IN BUILDINGS USED BY THE GENERAL PUBLIC AND STAFF, THE CONTRACTOR SHALL PROVIDE SIGNS DIRECTING BUILDING USERS TO NECESSARY SERVICES OF THE FACILITY, IN ADDITION TO SIGNS APOLOGIZING FROM DISRUPTION.
- WHERE APPLICABLE, THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND THE GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- WHERE APPLICABLE, THE CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES TO PROVIDE FREE AND SAFE PASSAGE OF THE OWNER'S PERSONNEL AND THE GENERAL PUBLIC TO AND FROM OCCUPIED AREAS OF THE BUILDING.
- WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF THE STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT FACILITIES OR WORK TO REMAIN.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ANY EXISTING FINISH WORK THAT IS TO REMAIN AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS, INCLUDING PROTECTING FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY.
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY DUST-PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATION ARE PERFORMED, AND EQUIP PARTITIONS WITH DUST-PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON THE EXTERIOR SURFACES, AND THE INSTALLATION NEW CONSTRUCTION, TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE AND INTERIOR AREAS OF THE EXISTING BUILDING.
- THE CONTRACTOR SHALL MAKE PROVISION FOR THE CONTINUITY OF UTILITY SERVICES TO OCCUPIED AREAS OF THE SITE AND SHALL PERMANENTLY OR TEMPORARILY CAP OFF OR RELOCATE UTILITY SERVICE LINES AS REQUIRED.
- CONCRETE AND MASONRY:** CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS, CUT AT JUNCTIONS WITH CONSTRUCTION REMAIN, USING A POWER-DRIVEN MASONRY SAW OR HAND TOOLS WHERE POSSIBLE AND NOT POWER-DRIVEN IMPACT TOOLS.
- DEBRIS SHOULD BE PROMPTLY REMOVED TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS AND FRAMING, AND TO AVOID BLOCKING EGRESS TOO & FROM THE SITE.
- SERVICES:** IF UNEXPECTED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS ARE ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT DETAILS OF SUCH TO THE ARCHITECT.
- ASBESTOS AND OTHER HAZARDOUS MATERIALS: IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OR OTHER OPERATIONS, THE CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA AND SUBMIT A REPORT TO THE ARCHITECT; ANY WORK IN SUCH AN AREA SHALL COMPLY WITH APPLICABLE REGULATIONS CONCERNING REMOVAL, HANDLING, PROTECTION AGAINST EXPOSURE AND ENVIRONMENTAL POLLUTION, AND DISPOSAL.
- BURNING OF ANY REMOVED MATERIALS IS NOT PERMITTED ON THE SITE.

GENERAL DEMOLITION NOTES:

- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS IN THE EVENT THAT DISCREPANCIES ARE NOTED BETWEEN SITE CONDITIONS AND THE PROJECT DOCUMENTS.
- PROTECT EXISTING CONSTRUCTION AT PERIMETER WALLS, EXISTING FURRED COLUMNS AND AREAS ADJACENT TO DEMOLITION.
- WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, PREP SUBSURFACES AND ADJACENT SURFACES AS REQ'D FOR NEW CONSTRUCTION.
- SALVAGE (REMOVE & REUSE) EXISTING DOORS, FRAMES AND HARDWARE, SPARE DOORS AND HARDWARE TO BE TURNED OVER TO OWNER'S STOCK IF DESIRED.
- REFER TO MEP DRAWINGS FOR DEMOLITION SCOPE OF PLUMBING FIXTURES, ELECTRICAL AND HVAC ITEMS.
- EXISTING DUCTING TO BE ALTERED TO SUIT NEW LAYOUTS. (REFER TO MECHANICAL DRAWINGS)
- CO-ORDINATE FOR DISCONNECT AND RELOCATION OF EXISTING WALL MOUNTED FIRE/ SECURITY/ ELECTRICAL PANELS AS REQUIRED. (REFER TO ELECTRICAL DRAWINGS)
- ENSURE MINIMAL DISTURBANCE TO ANY OCCUPIED SPACE ADJACENT TO AREAS WHERE DEMOLITION OCCURS.
- USE OF ANY SOLVENT STRIPPERS TO OCCUR AFTER HOURS FOLLOWING PROPER VENTILATION PROCEDURES.
- REPAIR AND MAKE NEW ALL EXISTING SURFACES AFFECTED BY DEMOLITION WORK. FINISHES TO MATCH ADJACENT SURFACES U.N.O.

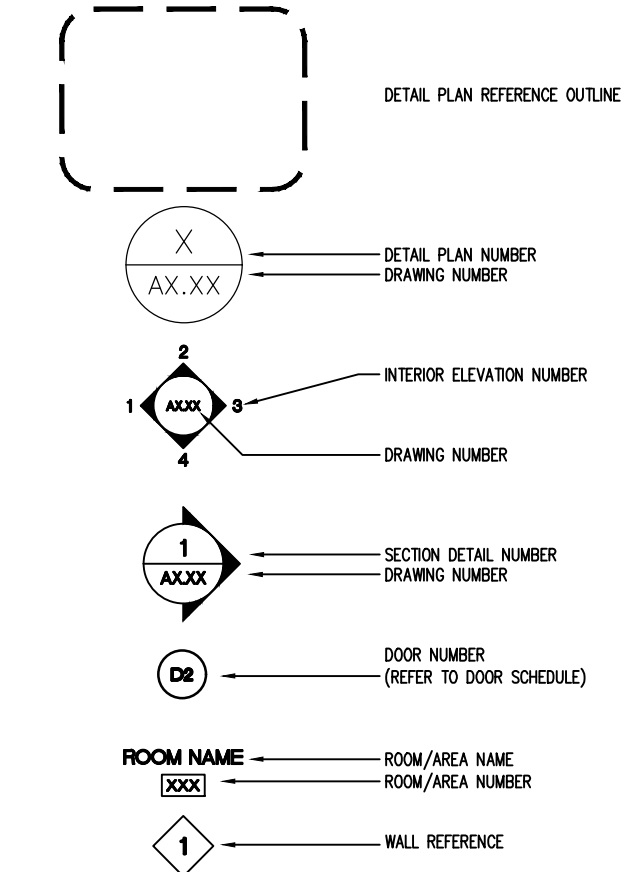
GENERAL PARTITION NOTES:

- CONTRACTOR TO CHALK OUT PARTITION LAYOUT FOR DESIGNER'S APPROVAL PRIOR TO STUD INSTALLATION.
- CONTRACTOR TO ENSURE VARYING WALL THICKNESS COORDINATE WITH DOOR FRAME SIZES.
- ENSURE ALL TRADES (ELECTRICAL, MECHANICAL, COMMUNICATIONS ETC.) HAVE COMPLETED THEIR PORTION OF WORK BEFORE BOARDING UP BOTH SIDES OF PARTITION. ENSURE ALL INSPECTION REQUIRED BY BERMUDA BUILDING CODE AND FIRE REGULATIONS HAVE OCCURRED.
- CONTRACTOR TO VERIFY CRITICAL ON SITE DIMENSIONS FOR SHOP DRAWINGS PRIOR TO IMPLEMENTING CONSTRUCTION OF MILLWORK. REPORT ANY DISCREPANCIES TO DESIGNER .
- ALL DRYWALL EDGES ARE TO BE SMOOTH AND PLUMB LINE TRUE. PATCH, FILL AND MAKE GOOD ANY HOLES IN WALL WHERE EXISTING OUTLETS OR SERVICES MAY HAVE OCCURRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS FOR COORDINATION OF WORK TO BE EXECUTED.
- MAKE GOOD ALL EXISTING WALLS DAMAGED BY DEMOLITION WORK. ALL EXISTING WALLS TO BE MADE GOOD FOR PAINT FINISH. (PAINT BY OTHERS)
- PROVIDE SUFFICIENT BLOCKING IN ALL AREAS THAT REQUIRE SUPPORT OF WALL OR CEILING MOUNTED EQUIPMENT OR MATERIALS (EG. MILLWORK, SPECIALTY EQUIPMENT, COAT HOOKS, WINDOW SHADES). BLOCKING TO BE CONCEALED.
- PROVIDE NEW WOOD FLOOR BASE TO MATCH EXISTING ON ALL NEW PARTITION WALLS.

GENERAL RCP NOTES:

- CONTRACTOR TO REVIEW EXISTING CEILING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPORT ANY INTERFERENCE WITH DUCTS, BEAMS, PIPES ETC IMMEDIATELY TO DESIGNER.
- ALL MECHANICAL AND ELECTRICAL WORKS TO COMPLY WITH BERMUDA CODE REQUIREMENTS AND ALL AUTHORITIES HAVING JURISDICTION. ANY CHANGES TO BE REVIEWED WITH DESIGNER.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR ALL LABOUR AND MATERIALS TO COMPLETE THE NECESSARY HVAC ALTERATIONS.
- WHERE REQUIRED PROVIDE FIRE DAMPERS AT ALL DUCTS PENETRATING FIRE SEPARATION.
- ALL SWITCHES AND COVER PLATES TO MATCH EXISTING. MULTIPLE SWITCHES TO BE GANGED.
- ALL EXISTING, NEW AND RELOCATED EMERGENCY EXIT SIGNS TO BE CONNECTED TO BASE BUILDING EMERGENCY SYSTEM.
- PROTECT EXISTING CEILING SYSTEM AND LIGHT FIXTURE DURING CONSTRUCTION. CLEAN ALL LIGHT FIXTURES UPON COMPLETION.
- NOMINATED MECHANICAL AND ELECTRICAL SUB CONTRACTORS TO REPLACE ANY DAMAGED TILES WITH NEW TILES AND RELOCATE EXISTING TILES IN AREAS AFFECTED BY THEIR WORK.
- REUSE EXISTING LIGHT SWITCHES WHERE POSSIBLE. ENSURE SUFFICIENT SWITCHES ARE PROVIDED IN OPEN OFFICE AREAS. PROVIDE SEPARATE LIGHT SWITCH FOR NEW DOWNLIGHTS AND WALL SCONCES.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWING.
- ALL NEW DRYWALL CEILINGS TO BE 1/2" THICK USG DRYWALL FIXED TO GALVANIZED STEEL FRAMING, TAPE, FILL AND SAND READY FOR PAINT FINISH.
- ANY PROPOSED CHANGES AND/OR MODIFICATIONS DUE TO FIELD CONDITIONS MUST RECEIVE APPROVAL FROM DESIGNER AND MEP CONSULTANTS.
- MECHANICAL SUBCONTRACTOR TO ARRANGE FOR AN INSPECTION AND BALANCING REPORT AFTER PROJECT COMPLETION. UPON COMPLETION, THE HVAC SYSTEM IS TO BE FULLY BALANCED TO THE SATISFACTION OF THE OWNER.
- ELECTRICAL CONTRACTOR TO SUBMIT CUT SHEETS ON ALL FIXTURES FOR DESIGNER/ARCHITECT REVIEW.
- ALL SWITCHES ON PARTITIONS TO BE MOUNTED VERTICALLY 8" FROM DOOR FRAME OR AS NOTED ON DRAWING.
- DIMENSIONS ARE FROM THE FACE OF THE WALL TO CENTER OF THE FIXTURE (U.O.N.). RECESSED DOWNLIGHTS ARE TO BE INSTALLED IN CENTER OF CEILING TILE UNLESS DIMENSIONED OTHERWISE.
- ALL FIRE DETECTORS AND DIFFUSERS MUST NOT BE WITHIN 3'-0" ON CENTRE OF EACH OTHER. CONTRACTOR TO COORDINATE W/FIRE ALARM TECHNICIAN.

GENERAL DRAWING LEGEND:



WALL LEGEND




SLAB SCHEDULE

- S1:** 6" minimum reinforced concrete slab on 6 mil thick vapor barrier (polyethylene), 2" sand binding on hard rock. Reinf. slab w/ A142 WWM, 1 1/2" top cover.
- S2:** 6" suspended concrete slab reinf w/ T12 main bars spaced @ 8" c/c & T12 transverse bars spaced at 12" c/c w/ 1 1/2" cover from bottom of slab.

CONCRETE SLAB NOTES:

- Construction joints in slabs to be kept to a minimum and where necessary be centered over beams and are to be square and vertical. Reinforcement to be continued through joints a minimum lap length.
- Slabs are to be cured for a minimum of 7 days by keeping continuously moist.
- Slabs and reinforcing to bear a minimum of 4" onto new beams, 4" onto blockwork walls, or 6" onto Bermuda stone walls.
- Exterior slabs to be laid to fall away from building a minimum of slope of 2%. Thickness referred to in schedule above is minimum depth of slab. increase as necessary to achieve desired falls.

MINISTRY OF PUBLIC WORKS



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ARCHITECTS & ESTATES SECTION
DEPARTMENT OF PUBLIC LANDS & BUILDINGS

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2	Issued for Review	1 Dec 2020

SCALE: AS NOTED

SURVEY

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DESIGN

Prepared By: KGW Date: --

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DRAWING

Prepared By: KGW Date: _____

Checked By: _____ Date: _____

Approved By: -

Project Number: 200221LH

Project Title: Lefroy House Care Community Renovation Works

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
CONSTRUCTION NOTES

Revisions: 2 Sheet Number: A1.12

LEFROY HOUSE CARE COMMUNITY MECHANICAL DRAWINGS

INDEX

SYMBOLS & DRAWING LIST
 KITCHEN & DINING HALL PLUMBING AND DRAINAGE PLAN
 ANNEX WING AND BREAK ROOM PLUMBING AND DRAINAGE PLAN
 KITCHEN & DINING HALL HVAC PLAN
 ANNEX WING AND BREAK ROOM HVAC PLAN
 EQUIPMENT SCHEDULES
 SPECIFICATION

M0.0
 M1.0
 M1.1
 M2.0
 M2.1
 M3.0
 M3.1



MINISTRY OF PUBLIC WORKS



LEGEND

SCHEMATIC CONDUITS		SCHEMATIC FITTINGS		2-LINE CONDUITS		SYMBOLS & ANNOTATION		ABBREVIATIONS	
EXAMPLE	SYSTEM	EXAMPLE	MEANING	EXAMPLE	MEANING	EXAMPLE	MEANING	ABBR.	MEANING
	RAIN WATER LEADER ABOVE FLOOR LEVEL		SHUT-OFF VALVE		GREY WATER LEADER PIPE		THERMOSTAT	WH	WATER HEATER
	RAIN WATER LEADER BELOW FLOOR LEVEL		BALANCING COCK		POOL SUCTION PIPE		HUMIDISTAT	PT	PRESSURE TANK
	GREY WATER LEADER ABOVE FLOOR LEVEL		CHECK VALVE/BACKFLOW VALVE		POOL RETURN PIPE		PRESSURE SENSOR	PD	PRESSURE DROP
	GREY WATER LEADER BELOW FLOOR LEVEL		THREE-WAY VALVE		POOL FILTRATION RETURN PIPE		VELOCITY SENSOR	CH	CHILLER
	SOIL DRAINAGE PIPE ABOVE FLOOR LEVEL		SOLENOID VALVE		POOL FILTRATION RETURN PIPE		MANHOLE	FD	FLOOR DRAIN
	SOIL DRAINAGE PIPE BELOW FLOOR LEVEL		MOTORIZED VALVE		POOL EDGE RETURN PIPE		SUPPLY DUCT RECTANGULAR SECTION	RD	ROOF DRAIN
	WASTE DRAINAGE PIPE ABOVE FLOOR LEVEL		BUTTERFLY VALVE		POOL & SPA SURGE TANK GRAVITY PIPE		RETURN DUCT RECTANGULAR SECTION	AD	AREA DRAIN
	WASTE DRAINAGE PIPE BELOW FLOOR LEVEL		REGULATOR		DOMESTIC COLD WATER PIPE		EXHAUST/OA DUCT RECTANGULAR SECTION	ETR	EXHAUST THROUGH ROOF
	VENT PIPE		CIRCUIT BALANCING VALVE		DOMESTIC HOT WATER PIPE		SUPPLY DUCT OVAL SECTION	DN	DOWN
	DOMESTIC COLD WATER PIPE		RUNNING TRAP AND VENT		INSULATED DOMESTIC HOT WATER PIPE		SUPPLY DUCT ROUND SECTION	CD	CONDENSATE DRAIN
	DOMESTIC HOT WATER PIPE		WYE STRAINER		CONDENSER WATER LEADER PIPE		VARIABLE AIR VOLUME TERMINAL SHOWN WITH ELECTRIC HEAT	FV&S	FOOT VALVE & STRAINER
	DOMESTIC HOT WATER RETURN PIPE		REDUCER/ENLARGER		CHILLED WATER LEADER PIPE		LINED RECTANGULAR DUCT WITH INTERIOR DIMENSIONS	A/C	AIR CONDITIONER
	DOMESTIC FILTERED WATER		SCREWED UNION		FLEXIBLE CANVAS CONNECTING DUCT		WRAPPED OVAL DUCT WITH INTERIOR DIMENSIONS	D/W	DISH WASHER
	FRESH WATER SUCTION PIPE		VACUUM BREAKER		LINED CANVAS CONNECTING DUCT		UNINSULATED ROUND DUCT WITH INTERIOR DIMENSIONS	NC	NORMALLY CLOSED
	IRRIGATION PIPE		PRESSURE GAGE		EXHAUST DUCT		FLEXIBLE DUCT WITH SIZE LABEL	FR	FROM
	GAS PIPE/TUBE		THERMOMETER		WRAPPED EXHAUST DUCT		CATCH BASIN	VAV	VARIABLE AIR VOLUME
	FIRE PROTECTION PIPE		WATER METER		LINED EXHAUST DUCT		AIR TERMINAL TAG	VTR	VENT THROUGH ROOF
	POOL & SPA GENERAL RETURN PIPE		PUMP (SCHEMATIC)		WRAPPED FRESH AIR DUCT		RETURN DUCT	TLD	TO LATER DETAIL
	POOL & SPA GENERAL SUCTION PIPE		PIPE TURNING DOWN		LINED FRESH AIR DUCT		KITCHEN HEAT EXHAUST DUCT	UFG	UNDER FINISHED GRADE
	POOL & SPA FILTRATION SYSTEM RETURN PIPE		PIPE TURNING UP		GREASE-LADEN KITCHEN EXHAUST DUCT		OUTSIDE AIR DUCT	AFG	ABOVE FINISHED GRADE
	POOL & SPA FILTRATION SYSTEM SUCTION PIPE		HOSE BIB		KITCHEN EXHAUST DUCT		WRAPPED RETURN DUCT	USS	UNDER SIDE OF SLAB, STEEL, OR ROOF
	POOL & SPA EDGE EFFECT RETURN PIPE		END CAP		LINED RETURN DUCT		LINED RETURN DUCT	DIFF	DIFFUSER
	POOL & SPA SURGE-TANK GRAVITY RETURN PIPE		OPEN ENDED PIPE		RETURN DUCT		SILENCER	CTE	CONNECT TO EXISTING
	GREY WATER (NON-POTABLE) PIPE		VALVE IN RISER		WRAPPED SUPPLY DUCT		FAN COIL UNIT TAG	NTS	NOT TO SCALE
	SALTY OR SEA WATER		CLEANOUT		LINED SUPPLY DUCT		VAV TERMINAL TAG	BWW	BERMUDA WATERWORKS
	FRENCH DRAIN		CLEANOUT TO GRADE		EXISTING CONDUIT TO BE REMOVED		CATCH BASIN TAG	TBD	TO BE DETERMINED
	FUEL OVERFLOW RETURN		ANTI VORTEX MAIN DRAIN				PLUMBING FIXTURE TAG	FFD	FUNNEL FLOOR DRAIN
	FUEL SUPPLY		FLOOR POOL RETURN				RETURN AIR WALL PENETRATION	FF	FINISHED FLOOR
	FUEL FILL		FLOOR JACUZZI FITTING				PIPE FLOW ARROW	HL	HIGH LEVEL
	FUEL FUEL VENT		TRAPPED FLOOR/SHOWER DRAIN				POSITIVE PRESSURE AIR FLOW (SUPPLY)	FCU	FAN COIL UNIT
	REVERSE OSMOSIS REJECTION WATER		WALL JACUZZI FITTING				NEGATIVE PRESSURE AIR FLOW (RETURN)	RT&V	RUNNING TRAP AND VENT
	COMPRESSED/INDUCED AIR		WALL POOL RETURN				GC TO UNDERCUT DOOR 3/4" OR AS NOTED	CO	CLEANOUT
	REFRIGERANT		VACUUM TERMINAL					GC	GENERAL CONTRACTOR
	CHILLED WATER SUPPLY		BERMUDA ROOF DRAIN WITH STRAINER					DX	DIRECT EXPANSION
	CHILLED WATER RETURN		FLAT ROOF/AREA DRAIN					AHU	AIR HANDLING UNIT
	CONDENSATE DRAINAGE		FLOOR DRAIN					HX	HEAT EXCHANGER
	CONDENSER WATER		FLOOR JACUZZI FITTING					EF	EXHAUST FAN
	EXISTING ABOVE GRADE CONDUIT TO REMAIN		WALL JACUZZI FITTING					EXH	EXHAUST
	EXISTING BELOW GRADE CONDUIT TO REMAIN		WALL POOL RETURN					CCT	CIRCUIT
	EXISTING CONDUIT TO BE REMOVED		VACUUM TERMINAL					EH	ELECTRIC HEAT
	SOLAR SUPPLY		BERMUDA ROOF DRAIN WITH STRAINER					EDH	ELECTRIC DUCT HEATER
	SOLAR RETURN		FLAT ROOF/AREA DRAIN					RA	RETURN AIR
	MUNICIPAL WATER/BERMUDA WATERWORKS		FLOOR DRAIN					VD	VOLUME DAMPER
	STEAM		FLOOR JACUZZI FITTING					BD	BACK DRAFT DAMPER
			WALL JACUZZI FITTING					MD	MOTORIZED DAMPER

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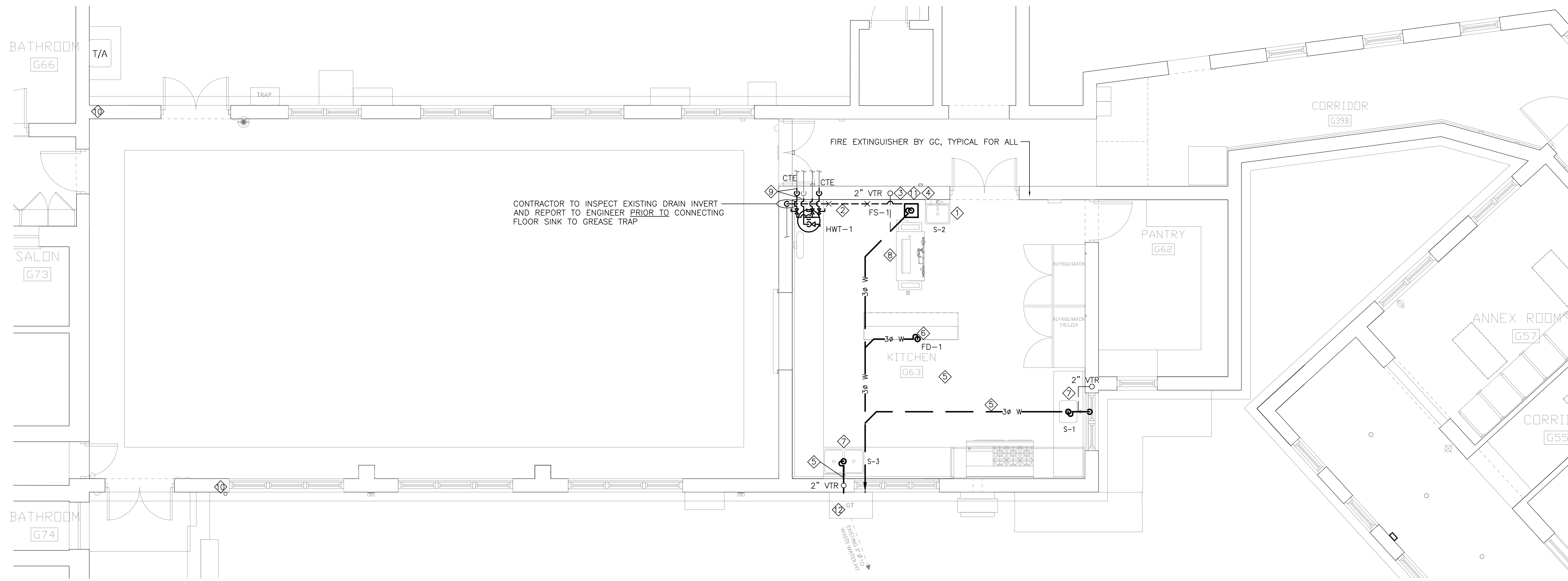
Approved By: _____

Project Number: 200221LH

Project Title: Lefroy House Care Community Renovation Works

LEFROY HOUSE
 7 HEYDON ROAD
 SANDYS
 BERMUDA, MA 01

Sheet Title: SYMBOLS AND DRAWING LIST



CONTRACTOR TO INSPECT EXISTING DRAIN INVERT AND REPORT TO ENGINEER PRIOR TO CONNECTING FLOOR SINK TO GREASE TRAP

FIRE EXTINGUISHER BY GC, TYPICAL FOR ALL

PLUMBING EQUIPMENT SCHEDULE						
	DESCRIPTION	HOT WATER	COLD WATER	SANITARY	VENT	NOTES
S-1	SINGLE COMPARTMENT KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	EXISTING TO RE-USE
S-2	KITCHEN WALL HUNG HAND SINK	1/2"	1/2"	1 1/2"	1 1/2"	EXISTING TO RE-USE
S-3	TWO COMPARTMENT KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	EXISTING TO RE-USE
S-4	BREAK ROOM SINK c/w SANITATE PUMP	1/2"	1/2"	1 1/2"	1 1/2"	SPECIFIED BY ARCHITECT, PROVIDED BY GENERAL CONTRACTOR
S-5	SALON SINK c/w HAIR TRAP	1/2"	1/2"	1 1/2"	1 1/2"	SPECIFIED BY ARCHITECT, PROVIDED BY GENERAL CONTRACTOR
WC-1	FLOOR MOUNTED FLUSH TANK WATER CLOSET	1/2"	1/2"	4"	2"	SPECIFIED BY ARCHITECT, PROVIDED BY GENERAL CONTRACTOR
LV-1	WASH AREA LAVATORY c/w MIXING VALVE	1/2"	1/2"	1 1/2"	1 1/2"	SPECIFIED BY ARCHITECT, PROVIDED BY GENERAL CONTRACTOR
LV-2	ANNEX BATHROOM LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"	SPECIFIED BY ARCHITECT, PROVIDED BY GENERAL CONTRACTOR
FS-1	FLOOR SINK			4"	2"	
FD-1	FINISHED FLOOR FLOOR DRAIN			3"	1 1/2"	
FFD-1	FINISHED FLOOR FUNNEL FLOOR DRAIN			3"	1 1/2"	

PLUMBING AND DRAINAGE NOTES:

A. INSTALL PLUMBING VENT AND TRAP PRIMER AS PER CODE REQUIREMENTS.

B. ALL PLUMBING PIPES SHALL BE CONCEALED IN FURRED WALL PROVIDED OR UNDERSLAB UNLESS OTHERWISE NOTED.

C. PROVIDE ISOLATION VALVE AT ALL HW & CW TEE-OFFS. PROVIDE ACCESS PANEL TO ISOLATION VALVES AND MIXING VALVES.

D. UNLESS NOTED OTHERWISE MINIMUM SLOPE OF SAN, RWL, CONDENSATE DRAIN AND GWL PIPING SHALL BE 1/8" PER FEET FOR 4" OR LARGER.

E. 1/4" PER FEET FOR 3" OR UNDER, TYPICAL FOR WHOLE BUILDING.

F. PLUMBING FIXTURE CONNECTION SIZE SHOWN ON THE TABLE TYPICAL FOR WHOLE BUILDING.

G. REFER TO ARCHITECTURAL PLAN FOR CESSPIT TANK LOCATION.

- ① EXISTING WALL HUNG HAND SINK TO REMAIN. DIVERT DRAIN TERMINATE ABOVE NEW FLOOR SINK.
- ② EXISTING 4" ABOVE FLOOR DRAIN FROM EXISTING DISHWASHER AND HAND SINK TO BE REMOVED AND CAPPED BEHIND WALL.
- ③ REPLACE EXISTING 3/4" CAST IRON WALL SUPPLY INSIDE WALL WITH PVC SCH 40 AND SERVE NEW DISHWASHER
- ④ EXISTING EYEWASH STATION TO REMAIN
- ⑤ REPLACE EXISTING CAST IRON WASTE PIPING WITH PVC
- ⑥ REMOVE EXISTING FLOOR DRAIN AND CAST IRON PIPING, INSTALL WITH NEW FD WITH PVC PIPING
- ⑦ DISCONNECT(CONSTRUCTION PHASE) AND RECONNECT(AFTER CONSTRUCTION) COLD AND HOT WATER SUPPLY TO EXISTING SINK
- ⑧ TERMINATE DRAIN FROM DISHWASHER ABOVE NEW FLOOR SINK
- ⑨ REPLACE EXISTING HOT WATER TANK WITH NEW AT SAME LOCATION. RECONNECT 3/4" COLD WATER SUPPLY, RUN THREE 3/4" HOT WATER SUPPLY INSIDE WALL TO CONNECT TO EXISTING. EXISTING EXPOSED HOT WATER PIPING TO BE REMOVED TERMINATE DRAIN AT FLOOR SINK
- ⑩ 4" RWL FROM NEW ROOF GUTTER DN CONNECT TO EXISTING AT GRADE
- ⑪ REMOVE EXISTING EXPOSED CAST IRON SAN PIPING. CAP OFF BELOW SLAB.
- ⑫ INSPECT AND CLEAN EXISTING GREASE TRAP.



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SCALE: 1/4" = 1'-0"

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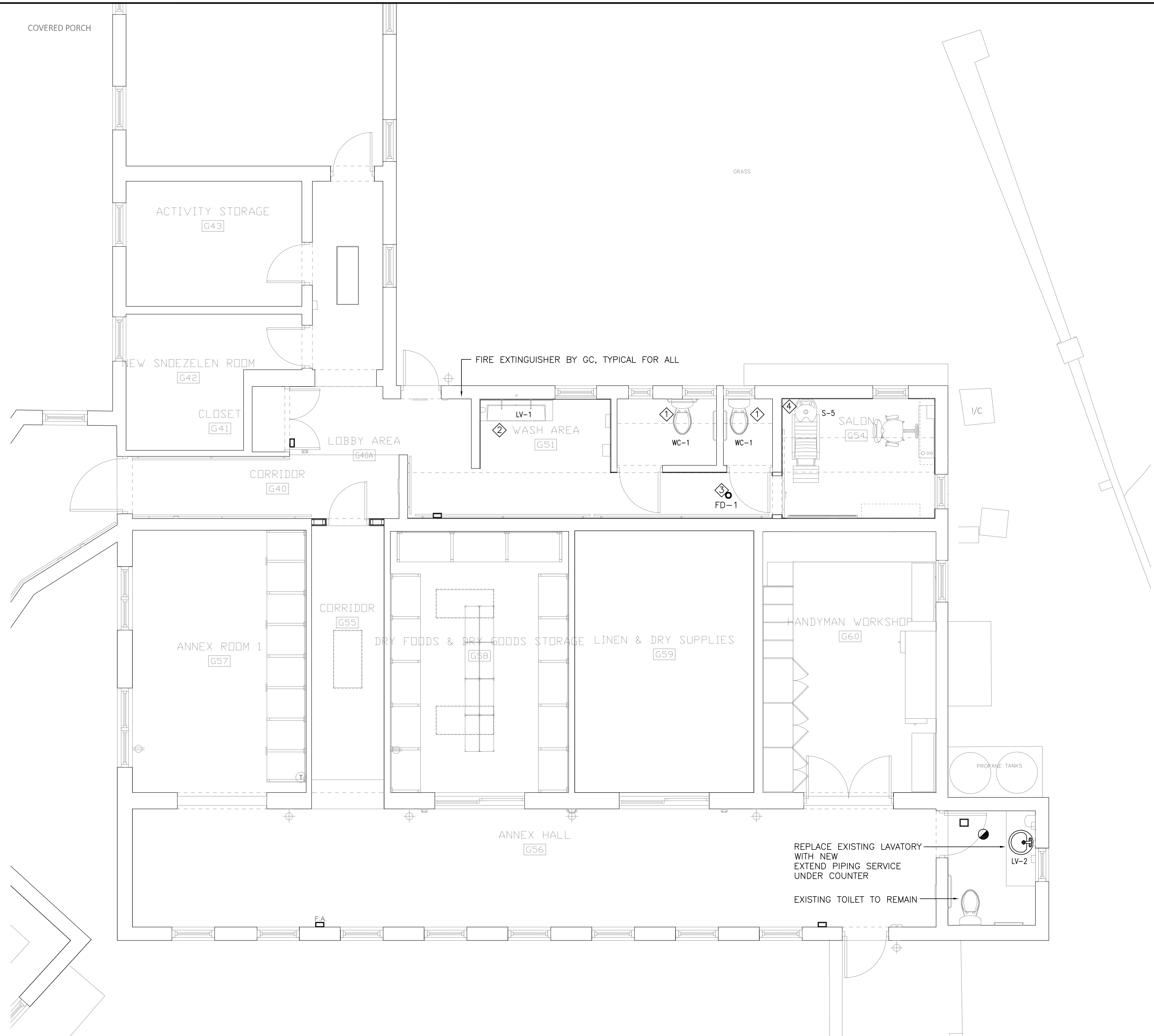
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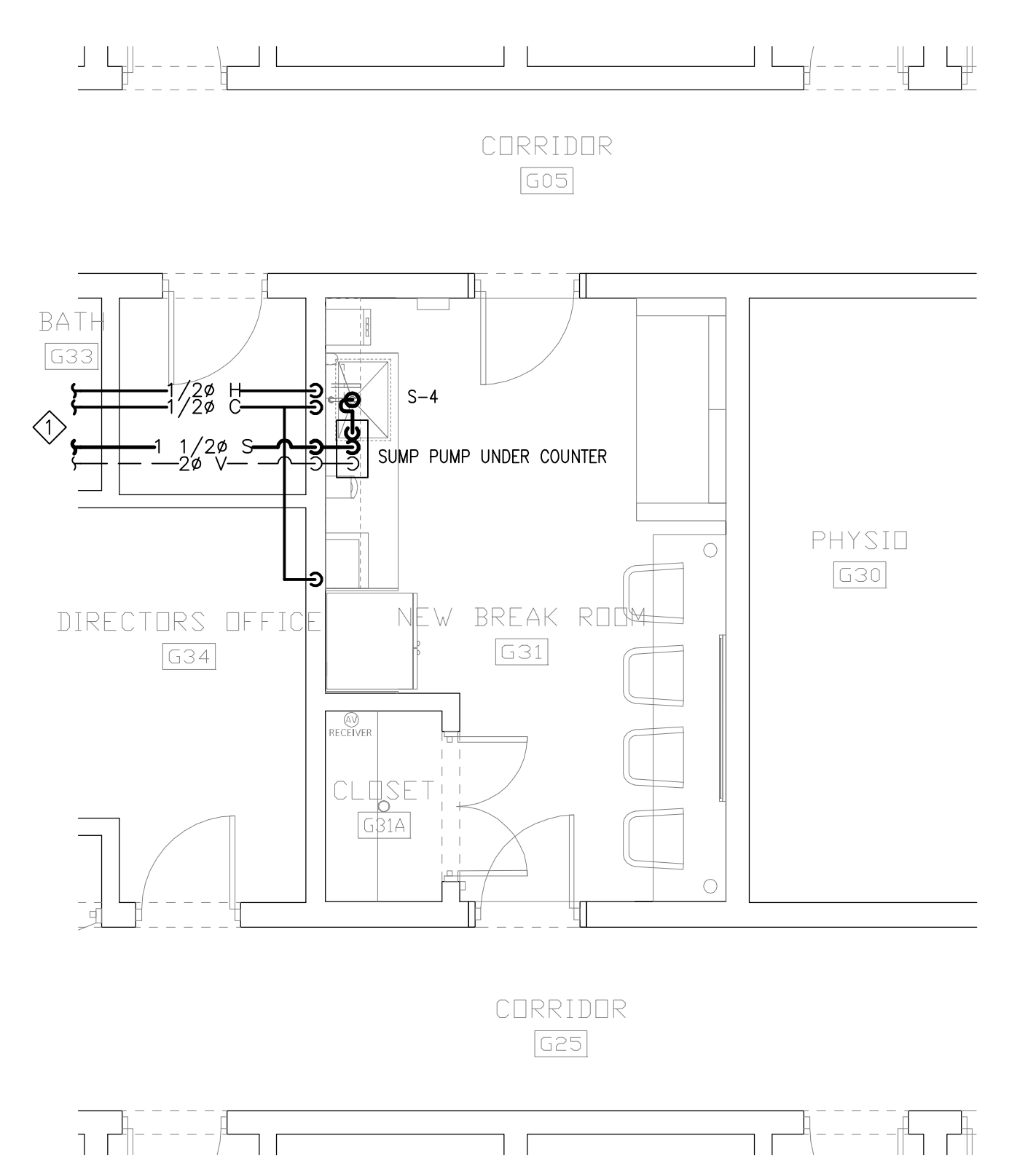
Project Title: **Lefroy House Care Community Renovation Works**

LEFROY HOUSE
 7 HEYDON ROAD
 SANDYS
 BERMUDA, MA 01

Sheet Title: **KITCHEN & DINING HALL PLUMBING AND DRAINAGE PLAN**



- ◇ EXTEND SERVICE FROM EXISTING BELOW SLAB AND BEHIND WALL TO NEW TOILET
- ◇ EXTEND SERVICE(CW AND DRAIN) FROM EXISTING BEHIND WALL TO NEW LAVATORY
- ◇ REPLACE EXISTING FLOOR DRAIN WITH NEW
- ◇ EXTEND SERVICE(CW AND DRAIN) FROM EXISTING BELOW SLAB AND BEHIND WALL TO NEW SALON SINK.



- ◇ EXTEND 1/2" H & CW FROM EXISTING INSIDE G33 CEILING DN TO SINK, EXTEND 1/2" CW DN TO ICE MAKER
- ◇ TERMINATE SINK DRAIN WITH "P" TRAP AT SUMP PUMP
- ◇ 1 1/2" SUMP PUMP DISCHARGE RUNS THROUGH CEILING CONNECTS TO EXISTING SAN AT G33
- ◇ 2" VENT FROM SUMP PUMP UP CONNECTS TO NEAREST EXISTING 2" OR LARGER VENT INSIDE CEILING OR VTR
- ◇ EXACT CONNECTION LOCATION TO BE CONFIRMED ON SITE



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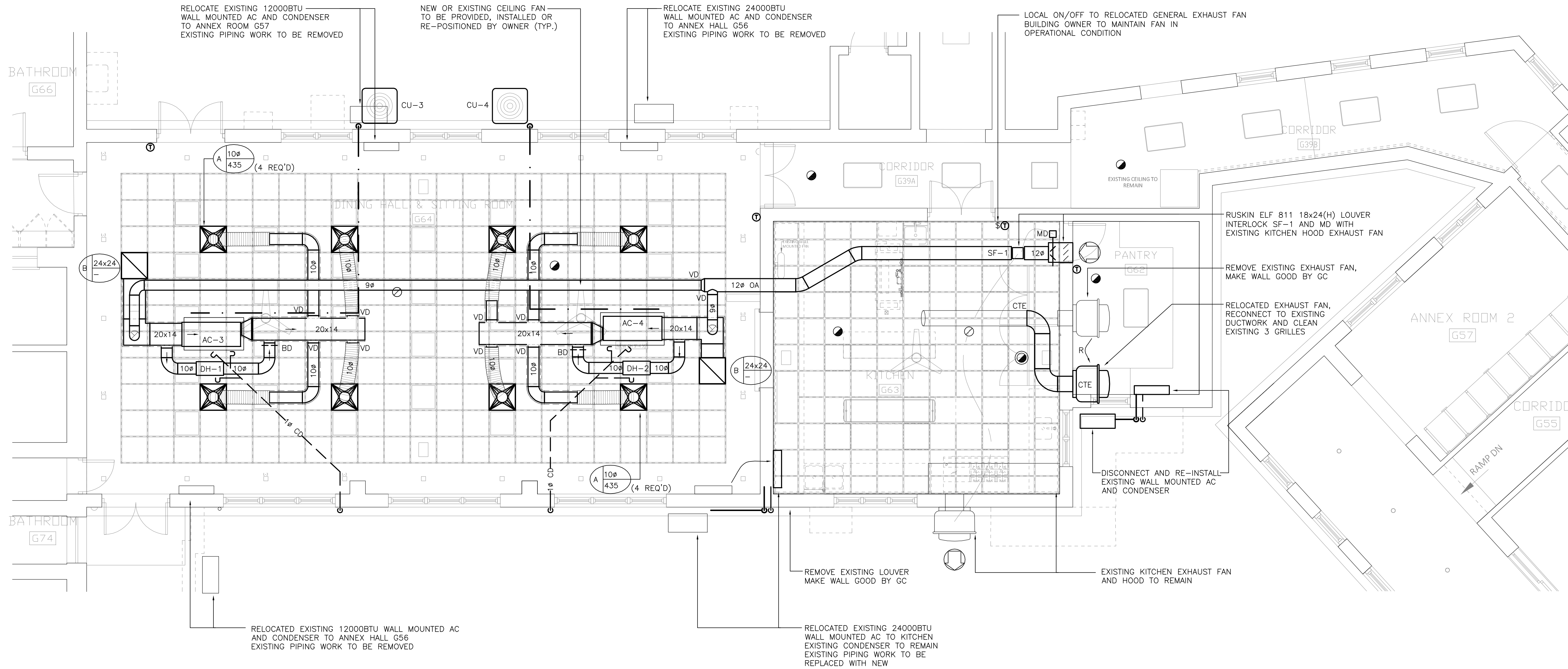
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Project Title: **Lefroy House Care Community Renovation Works**

LEFROY HOUSE
 7 HEYDDON ROAD
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Sheet Title: **ANNEX WING AND BREAK ROOM PLUMBING AND DRAINAGE PLAN**



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Renovation Works**

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
**KITCHEN & DINING HALL
HAVC PLAN**



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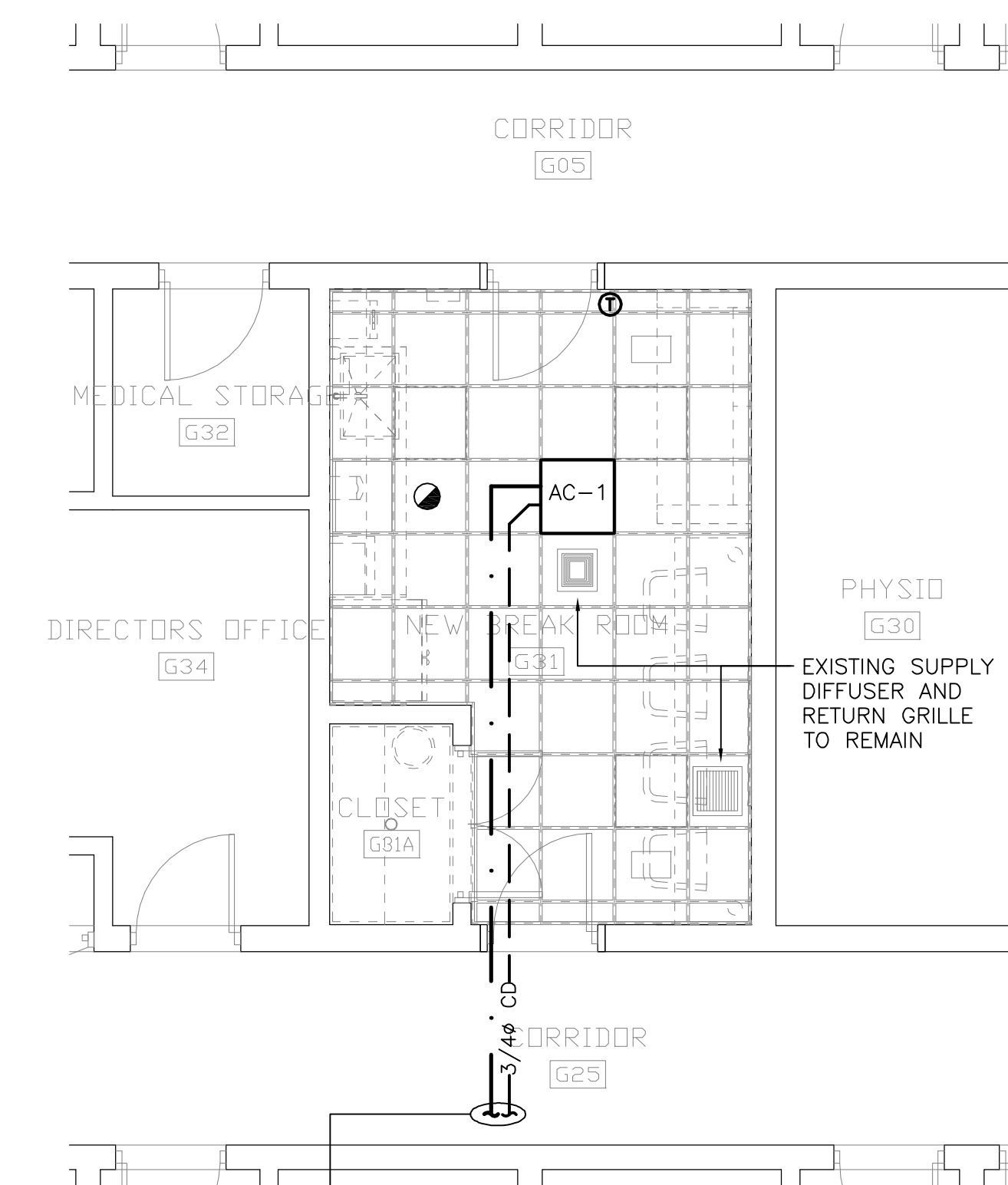
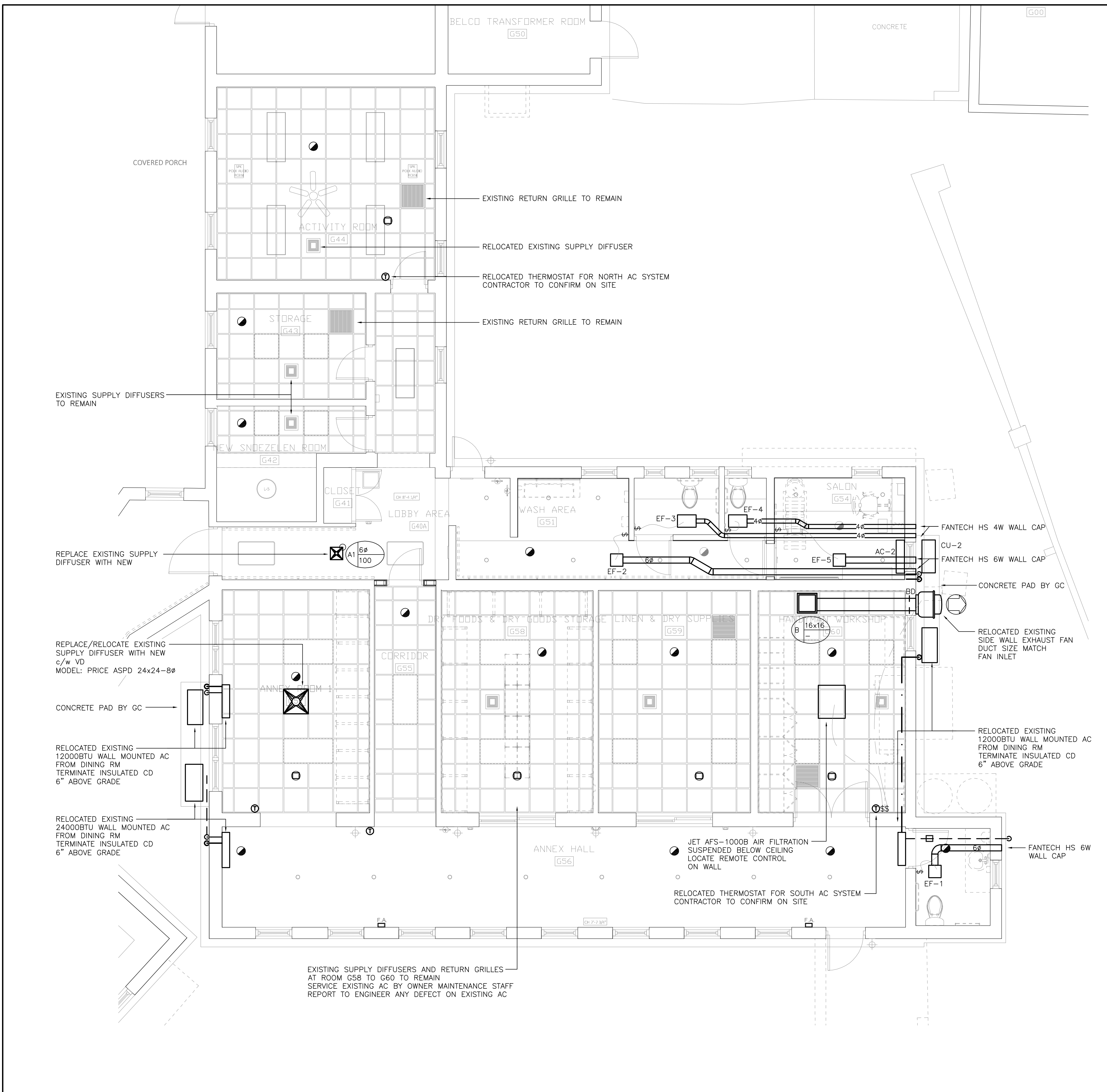
LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
ANNEX WING AND BREAK ROOM
HVAC PLAN

Revisions: _____ Sheet Number: _____



M2.1



EXISTING SUPPLY DIFFUSERS AND RETURN GRILLES AT ROOM G58 TO G60 TO REMAIN SERVICE EXISTING AC BY OWNER MAINTENANCE STAFF REPORT TO ENGINEER ANY DEFECT ON EXISTING AC



A Division of Bermuda Air Conditioning Limited
9 Hill Creek Road - P.O. Box 180 - Hamilton HM LK
Telephone: (441) 292-0881 - Fax: (441) 292-6887
E-mail: engineering@bac.com



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Project Title: Lefroy House Care Community Renovation Works

Lefroy House Care Community Renovation Works

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title: EQUIPMENT SCHEDULES

Revisions: _____ Sheet Number: _____

M3.0

BLOWER UNIT SCHEDULE			
UNIT NO	AC-1	AC-2	AC-3 & 4
SERVICE	BREAK ROOM	SALON	DINNING
LOCATION	CEILING CASSETTE	WALL	INSIDE CEILING
TOTAL AIR FLOW RATE (CFM)	559/482/414	--	1750
FAN SPEEDS	--	--	TAP 5
MOTOR POWER (HP)	--	--	3/4
UNIT VOLTS/PHASE/HZ	208-230/1/60	208-230/1/60	208-230/1/60
M.C.A. (AMPS)	--	--	7.5
F.L.A. (AMPS)	--	--	6.0
ENTERING DBT (°F)	--	--	73.9
ENTERING WBT (°F)	--	--	62.5
LEAVING DBT (°F)	--	--	55
LEAVING WBT (°F)	--	--	52.9
COOLING CAPACITY (BTU)	18000	9000	46.5(S)/50.6(T)
HEATING CAPACITY (BTU)	18000	11000	--
MANUFACTURER	CARRIER	CARRIER	CARRIER
MODEL	40QTD018DS	42QHC009ESW	FB4CNF060000
INTERLOCK WITH	CU-1	CU-2	CU-3 & 4/DH-1 & 2
EMS CONTROL TYPE	--	--	APRILAIRE 8620W c/w SECONDARY DRAIN FAN
REMARKS	--	--	--

SPLIT-SYSTEM OUTDOOR UNIT SCHEDULE			
UNIT NO	CU-1	CU-2	CU-3 & 4
SERVICE	U/F DINNING AREA	SALON	DINNING
LOCATION	OUTSIDE	OUTSIDE	OUTSIDE
SEERS	--	--	14
REFRIGERANT	R-410A	R-410A	R-410A
CAPACITY STEPS, %	--	--	--
NOMINAL SIZE/TYPE	--	--	--
CONDENSER TUBE/FIN MATERIAL	--	--	--
VOLTS/PHASE/HZ	208-230/1/60	208-230/1/60	208-230/1/60
M.C.A. (AMPS)	15	--	32
POWER INPUT (W)	--	720	--
MAX CURRENT (AMPS)	--	--	--
MAXIMUM FUSE SIZE (AMPS)	20	--	50
MANUFACTURER	CARRIER	CARRIER	CARRIER
MODEL	38QUA018DS	38QHC009ESWP	25HCE460C00300
INTERLOCK WITH	AC-1	AC-2	AC-3 & 4
EMS CONTROL TYPE	--	--	--
REMARKS	c/w COATING COIL	c/w COATING COIL	c/w COATING COIL

FAN SCHEDULE					
FAN NO.	EF-1	EF-2	EF-3 & 4	EF-5	SF-1
SERVICE	WASHROOM EXHAUST	WASHROOM EXHAUST	WASHROOM EXHAUST	WASHROOM EXHAUST	DINNING FRESH AIR
LOCATION	CEILING	CEILING	CEILING	CEILING	CEILING
FLOW RATE (CFM)	80	80	70	150	520
SP IN/WG	0.2	0.2	0.2	0.2	0.5
FAN SPEED (RPM)	--	--	--	--	2937
FAN MAX DV	--	--	--	--	--
MOTOR POWER (HP)	FRACTIONAL	FRACTIONAL	FRACTIONAL	FRACTIONAL	123W
ELECTRICAL DATA VOLTS/PHASE/HZ	115/1/60	115/1/60	115/1/60	115/1/60	115/1/60
MOTOR SPEED (RPM)	--	--	--	--	--
MANUFACTURER	BROAN	BROAN	BROAN	BROAN	FANTECH
MODEL NUMBER	QTXE-080	QTXE-080	744	QTXE-150	PrioAir 8EC
ACCESSORIES	--	--	--	--	--
INTERLOCK WITH	MS100W OCCUPANCY SENSOR	LOCAL ON/OFF	MS100W OCCUPANCY SENSOR	LOCAL ON/OFF	KITCHEN EXHAUST
EMS CONTROL TYPE	--	--	--	--	--
REMARKS	c/w BACK DRAFT DAMPER	c/w BACK DRAFT DAMPER	c/w BACK DRAFT DAMPER	c/w BACK DRAFT DAMPER	c/w MOTORIZED DAMPER

DEHUMIDIFIER SCHEDULE	
DEHUMIDIFIER NO.	DH-1 & 2
SERVICE	DINNING
LOCATION	CEILING
FLOW RATE (CFM)	120
SP IN/WG	0.2
CAPACITY	70 PPD
POWER (W)	--
CURRENT DRAW	6.3 AMPS
ELECTRICAL DATA VOLTS/PHASE/HZ	115/1/60
MOTOR SPEED (RPM)	--
MANUFACTURER	APRILAIRE
MODEL NUMBER	1830
ACCESSORIES	--
CONTROL	8620W
EMS CONTROL TYPE	--
REMARKS	--

DIFFUSER & REGISTER SCHEDULE			
TAG	MANUFACTURER	MODEL	REMARK
A	PRICE	ASCD 24x24	T-BAR CEILING, RETURN
A1	PRICE	ASCD 12x12	T-BAR CEILING, RETURN
B	PRICE	80	T-BAR CEILING, RETURN
E	PRICE	620	SUPPLY
F	PRICE	635	RETURN

PIPE AND INSULATION SCHEDULE					
SYSTEM	PIPE MATERIAL	SIZE STANDARD	WALL THICKNESS	INSULATION	NOTES
DOMESTIC HOT WATER, HOT WATER RETURN AND HEATING (140F OR BELOW)	CPVC	IPS	SCH 80	1/2" WHERE PIPING IN WALLS 1" FOR PIPING UP TO 2" 1 1/2" FOR PIPING 2 1/2" AND GREATER	FIBERGLASS MOLDED WITH ASJ FINISH
DOMESTIC COLD WATER NOT INSIDE RETURN AIR PLENUM	PVC	IPS	SCH 40	NOT REQUIRED	
DOMESTIC PUMP SUCTION	PVC	IPS	SCH 40	NOT REQUIRED	
RAIN WATER LEADER AND GRAY WATER LEADER NOT INSIDE RETURN AIR PLENUM	PVC	IPS	SCH 40	NOT REQUIRED	USE DWV FITTINGS
SOIL DRAINAGE AND SOIL VENT NOT INSIDE RETURN AIR PLENUM	PVC	IPS	SCH 40	NOT REQUIRED	USE DWV FITTINGS
AC CONDENSATE DRAIN	PVC	IPS	SCH 40	1/2" FOR PIPING UP TO 3/4" 3/4" FOR PIPING 1" TO 1 1/4" 1" FOR PIPING 1 1/2" AND GREATER	FLEXIBLE ELASTOMERIC
REFRIGERANT PIPING	ACR COPPER	CTS		3/4" FOR PIPING UP TO 3/4" 1" FOR PIPING 1" AND GREATER	FLEXIBLE ELASTOMERIC, ADD COATING FOR PIPE EXPOSED
MEDIUM PRESSURE LP GAS (BETWEEN 1ST & 2ND STAGE REGULATORS)	YELLOW MDPE	IPS	SDR 11	NOT REQUIRED	OUTDOORS AND BELOW GRADE ONLY
MEDIUM PRESSURE LP GAS (BETWEEN 1ST & 2ND STAGE REGULATORS)	COPPER TUBE	CTS	TYPE L	NOT REQUIRED	RUN IN YELLOW FLEX CONDUIT
SERVICE PRESSURE LP GAS (BETWEEN 2ND STAGE REGULATOR & APPLIANCES)	YELLOW MDPE	IPS	SDR 11	NOT REQUIRED	OUTDOORS AND BELOW GRADE ONLY
SERVICE PRESSURE LP GAS (BETWEEN 2ND STAGE REGULATOR & APPLIANCES)	COPPER TUBE	CTS	TYPE L	NOT REQUIRED	RUN IN YELLOW FLEX CONDUIT, CONCEALED JOINTS NOT PERMITTED.
SERVICE PRESSURE LP GAS (BETWEEN 2ND STAGE REGULATOR & APPLIANCES)	GALVANIZED IRON	IPS	SCH 40	NOT REQUIRED	USE INDOORS WHERE CONCEALED JOINTS ARE NECESSARY.

NOTE: SCHEDULE MAY ENCOMPASS PIPING SYSTEMS NOT EMPLOYED IN THIS PROJECT

DUCTWORK AND INSULATION SCHEDULE				
SYSTEM	DUCTWORK MATERIAL	WALL THICKNESS	INSULATION	NOTES
SUPPLY RIGID DUCTWORK IN UN-CONDITIONED SPACE	KOOLDUCT	1 3/16"	2" FIBERGLASS WRAP	IN ADDITION IF REQUESTED AT CONTRACT AGREEMENT
SUPPLY RIGID DUCTWORK IN UN-CONDITIONED SPACE(ALT)	GALVANIZED SHEETMETAL		3" FIBERGLASS WRAP OR INTERNALLY LINED	THIS IS STANDARD FOR ALL JOBS
SUPPLY RIGID DUCTWORK IN CONDITIONED SPACE	KOOLDUCT	1 3/16"	NOT REQUIRED	IN ADDITION IF REQUESTED AT CONTRACT AGREEMENT
SUPPLY RIGID DUCTWORK IN CONDITIONED SPACE(ALT)	GALVANIZED SHEETMETAL		2" FIBERGLASS WRAP OR INTERNALLY LINED	THIS IS STANDARD FOR ALL JOBS
SUPPLY FLEXIBLE DUCTWORK IN UN-CONDITIONED SPACE	FLEX		3" FIBERGLASS WRAP	THIS IS STANDARD FOR ALL JOBS
SUPPLY FLEXIBLE DUCTWORK IN CONDITIONED SPACE	FLEX		NO ADDITIONAL INSULATION REQUIRED BEYOND INSULATED FLEX R8	THIS IS STANDARD FOR ALL JOBS
RETURN DUCTWORK	KOOLDUCT	1 3/16"	NOT REQUIRED	IN ADDITION IF REQUESTED AT CONTRACT AGREEMENT
RETURN DUCTWORK IN CONDITIONED SPACE	GALVANIZED SHEETMETAL		NOT REQUIRED	THIS IS STANDARD FOR ALL JOBS
RETURN DUCTWORK IN UN-CONDITIONED SPACE INCLUDING MECHANICAL ROOM	GALVANIZED SHEETMETAL		2" FIBERGLASS WRAP	THIS IS STANDARD FOR ALL JOBS
REGULAR EXHAUST DUCTWORK	GALVANIZED SHEETMETAL		NOT REQUIRED	
UN-CONDITIONED FRESH AIR INTAKE DUCTWORK	ALUMINUM		NOT REQUIRED	
CONDITIONED FRESH AIR INTAKE DUCTWORK	ALUMINUM		2" FIBERGLASS WRAP	
COMMERCIAL KITCHEN EXHAUST	BLACK IRON	GAUGE 16	3M FIRE WRAP	ONLY WHERE DUCTWORK IN A COMBUSTIBLE AREA

NOTE: SCHEDULE MAY ENCOMPASS DUCTWORK SYSTEMS NOT EMPLOYED IN THIS PROJECT

ELECTRIC DOMESTIC HOT WATER TANK SCHEDULE		
UNIT NUMBER	HWT-1	
SERVICE	KITCHEN	
LOCATION	KITCHEN	
TANK SIZE (U.S. GAL.)	30	
HOT WATER TEMPERATURE (°F)	125	
ELEMENT POWER (KW)	4.5(UPPER) 4.5(LOWER)	
LP GAS CAPACITY (MBH)		
VOLTAGE/PHASE/Hz	208/1/60	
MIN. FUSE SIZE (AMPS)		
MANUFACTURER	RHEEM	
MODEL NUMBER	PROE30M2RH95	
NOTE	MEASURE SITE PRIOR TO ORDERING	



BUILDING CONTROL
ALL BUILDING WORKS AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING ACT 1988 THE BERMUDA BUILDING CODE 2014 AND ALL OTHER CODES AND STANDARDS IN FORCE. ALL WORKS SHALL BE INSPECTED AND APPROVED PRIOR TO CONCEALMENT.

MECHANICAL SPECIFICATION

A. GENERAL

- MECHANICAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL DRAWINGS.
- THE MECHANICAL DRAWINGS DO NOT SHOW ALL THE ARCHITECTURAL AND STRUCTURAL DETAILS, AND ANY INFORMATION INVOLVING ACCURATE MEASURING OF THE BUILDING SHALL BE TAKEN AT SITE.
- THE MECHANICAL CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING SERVICES. BEFORE FABRICATION AND INSTALLATION OF PIPING AND DUCT, MAKE CERTAIN THAT SUCH ITEMS CAN BE INSTALLED WITHOUT INTERFERENCE WITH THE EXISTING SERVICES, STRUCTURE OR WORK OF OTHER TRADES. MAKE ANY NECESSARY CHANGES OR ADDITIONS TO RUNS OF PIPING AND DUCTWORK, ETC. TO ACCOMMODATE THE ABOVE CONDITIONS.
- THE LOCATION OF EQUIPMENT MAY BE ALTERED WITHOUT CHARGE PROVIDING THE CHANGE IS MADE BEFORE INSTALLATION AND DOES NOT NECESSITATE MAJOR ADDITIONAL MATERIAL.
- BEFORE SUBMITTING ANY BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS AND ANY LIMITATIONS. CHECK EXISTING ARCHITECTURE, STRUCTURE OF THE BUILDING, (I.E. WALLS, FLOORS, ETC.) AND EXISTING SERVICES.
- EXAMINE THE PROPOSED INSTALLATION AGAINST THE EXISTING CONDITIONS. AFTER EXAMINING ALL THE ABOVE AGAINST THE PLANS, SPECIFICATIONS AND TERMS OF THE CONTRACT, CONTRACTOR MUST SATISFY THEMSELVES THAT THE PROPOSED INSTALLATION CAN BE CARRIED OUT AS INTENDED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- COORDINATE WITH END-USERS AND PROJECT MANAGER FOR SCHEDULING OF WORK AFFECTING THE EXISTING SYSTEMS. PROVIDE ANY NECESSARY PROTECTION TO MINIMIZE DUST DURING WORK AND KEEP WORK AREA CLEAN AT ALL TIMES.
- PRIOR TO ANY DRILLING, CONTRACTOR WILL OBTAIN APPROVAL BY STRUCTURAL ENGINEER TO AVOID ANY INTERFERENCE, X-RAY SHALL BE PERFORMED BEFORE ANY DRILLING IS TO BE COMMENCED.
- FILE ALL NECESSARY PLANS FOR PERMITS, ARRANGE FOR ALL INSPECTIONS, AND PAY ALL FEES AS REQUIRED BY CODE AND LOCAL AUTHORITIES. PROVIDE THE OWNER WITH A CERTIFICATE OF ALL SUCH INSPECTIONS PRIOR TO FINAL COMPLETION.
- MATERIAL, PRODUCTS AND EQUIPMENT SHALL BE NEW, OF THE BEST QUALITY AND OF UNIFORM PATTERN. ALL WORK SHALL BE CARRIED OUT BY SKILLED WORKMAN, EXPERIENCED IN THIS TYPE OF WORK TO ENSURE FIRST CLASS INSTALLATION. MATERIAL NOT SPECIFIED SHALL BE AT LEAST THE SAME AS EXISTING.
- ALL UNWANTED ROOF OPENINGS SHALL BE CLOSED AND INSULATED BY THE GENERAL CONTRACTOR. ALL FLASHING AND COUNTER-FLASHING OF ALL ROOF OPENINGS FOR MECHANICAL INSTALLATIONS SHALL BE CARRIED OUT BY THE MECHANICAL CONTRACTOR.
- ALL MATERIALS TO MEET FLAME SPREAD RATING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE USE OF ANY CHEMICALS IN THE BUILDING SHALL NOT BE ALLOWED.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE MECHANICAL WORK, AND FOR THE COORDINATION OF MECHANICAL WORK WITH ALL OTHER TRADES.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE AND REMOVING WASTE MATERIALS CAUSED BY THE PERFORMANCE OF THE MECHANICAL WORK.
- SUBMIT SHOP DRAWINGS IN PDF FOR ALL EQUIPMENT PRIOR TO ORDERING THE EQUIPMENT.
- SUBMIT 3 COPIES OF OPERATIONS AND MAINTENANCE MANUALS PRIOR TO SUBSTANTIAL
- AFTER ALL EQUIPMENT HAS BEEN INSTALLED, ADJUSTED, BALANCED, AND STARTED UP BY THE MECHANICAL CONTRACTOR. SUBJECT EQUIPMENT TO A SERIES OF PERFORMANCE TESTS AS SOON AS CONDITIONS PERMIT.
- OPERATE EQUIPMENT UNDER VARYING LOAD CONDITIONS, DEMONSTRATE STARTUP SEQUENCE, NORMAL SHUTDOWN, SIMULATED EMERGENCY SHUTDOWN, OPERATION OF TEMPERATURE, ETC., AND SAFETY CONTROLS. OPERATE SWITCHES AND ELECTRICAL DEVICES FOR CORRECT WIRING SEQUENCES. ADJUST COMPONENTS TO ACHIEVE A PROPER FUNCTIONAL RELATIONSHIP AMONG ALL THE COMPONENTS OF ALL THE SYSTEMS. REPAIR DEFECTS AND REPEAT TESTS AS NECESSARY.
- IDENTIFICATION: PROVIDE METAL NAMEPLATE ON EACH PIECE OF EQUIPMENT, MECHANICALLY FASTENED WITH RAISED OR RECESSED LETTERS. MANUFACTURER'S NAMEPLATE TO INDICATE SIZE, EQUIPMENT MODEL, MANUFACTURER'S NAME, SERIAL NUMBER, VOLTAGE, CYCLE, PHASE AND POWER OF MOTORS. IDENTIFY MEDIUM IN PIPING WITH MARKERS SHOWING NAME AND SERVICE INCLUDING TEMPERATURE, PRESSURE AND DIRECTIONAL FLOW ARROWS IN ACCORDANCE WITH CGSB 24-GP-3A. USE 2" HIGH BLACK STENCILED LETTERS, E.G. "SUPPLY AC-1", "RETURN AC-1", "SANITARY EXHAUST EF-1" WITH DIRECTIONAL FLOW ARROW. LETTERING MUST IDENTIFY THE SYSTEM THAT THE DUCTWORK SERVES. FOR VALVES AND CONTROLLERS, PROVIDE TWO-PLY ENGRAVED LAMINATED PLASTIC TAGS EQUAL TO SMS SERIES LS-1500 COLOR CODING.

B. DEMOLITION

- REMOVE MECHANICAL ITEMS SHOWN AND INDICATED ON DRAWINGS AND AS SPECIFIED.
- MAINTAIN LIFE SAFETY SYSTEMS TO ENTIRE FACILITY AT ALL TIMES DURING CONSTRUCTION PERIOD.
- REMOVE ALL MECHANICAL COMPONENTS MADE REDUNDANT BY THE RENOVATION. INCLUDE ALL ITEMS IN WALLS TO BE REMOVED.
- DO ALL WORK IN ACCORDANCE TO CURRENT BUILDING CODE AND ALL APPLICABLE CODES AND REGULATIONS REQUIREMENTS.
- EXCEPT OTHERWISE INDICATED, SALVAGEABLE MATERIALS FROM AREA OF DEMOLITION SHALL BECOME THE PROPERTY OF THE OWNER AT HIS DISCRETION. ALL MATERIAL REMOVED FROM THE BUILDING NOT HANDED OVER TO THE OWNER. FOR SALVAGE UNDER THIS PROJECT SHALL BE REMOVED FROM SITE. TURN OVER TO OWNER ALL EXISTING EQUIPMENT NO LONGER REQUIRED BY THIS RENOVATION. REMOVE FROM SITE ANY EQUIPMENT DEEMED REDUNDANT BY OWNER.
- PROTECT ALL REMOVED EQUIPMENT THAT ARE TO BE RETAINED FROM DAMAGE.
- CO-ORDINATE WITH ALL OTHER DIVISIONS FOR AMOUNT AND EXTENT OF THEIR DEMOLITION.
- CAP AND VALVE, IF APPLICABLE, ALL UNUSED EXISTING SERVICES (I.E. WATER, DRAIN PIPING, VENT, ECT.) CUT BACK TO WALL OR BELOW FLOOR LEVEL, UNLESS OTHERWISE NOTED.
- CUT AND REMOVE UNUSED DUCTWORK BACK TO THE SOURCE, I.E. SUPPLY AND EXHAUST FANS, UNLESS OTHERWISE NOTED.

C. PLUMBING & FIRE PROTECTION

- PROVIDE COMPLETE SYSTEM AS SHOWN AND INDICATED, INCLUDING WATER, WASTE, VENT, CLEANOUTS, PIPE INSULATION, VALVES, ETC.
- ALL PLUMBING WORK, MATERIALS AND INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2012 EDITION OF INTERNATIONAL PLUMBING CODE AND ANY AUTHORITIES HAVING JURISDICTION.
- INSTALL PIPE SLEEVES AT ALL PIPES PENETRATING FLOOR SLABS AND WALLS. SUPPLY AND INSTALL CHROME PLATED ESCUTCHEON PLATES AT ALL EXPOSED PIPE PENETRATIONS THROUGH WALLS, CEILINGS AND FLOORS. SUPPLY AND INSTALL DRAIN VALVES AT ALL LOW POINTS.
- INSULATE ALL DOMESTIC HOT, COLD AND HOT WATER RE-CIRCULATING PIPES WITH 1" PERFORMED LOW PRESSURE FIBERGLASS INSULATION WITH VAPOUR BARRIER JACKET. SEAL ALL JOINTS OF VAPOUR BARRIER WITH LAP CEMENT.
- USE CRANE F9122 OR F9102 BALL VALVES, CRANE 7 GLOBE VALVES, CRANE 137 CHECK VALVES. PROVIDE SHUTOFF VALVES OR SCREWDRIVER STOPS ON WATER SERVICE TO EQUIPMENT. USE BACK FLOW PREVENTERS ON EQUIPMENT CONNECTIONS, WHERE APPLICABLE, AS PER CODE.
- PROVIDE SHUT OFF VALVES FOR ALL EQUIPMENT, RISERS, PLUMBING FIXTURES, TEE-OFFS, AND BRANCHES LEADING TO FIXTURES UNLESS NOTED OTHERWISE.
- PROVIDE VENT PIPE FOR ALL PLUMBING FIXTURES, TRAP SEALS, AND TRAP SEAL PRIMERS FOR ALL FLOOR DRAINS AS PER CODE REQUIREMENTS.
- PROVIDE TYPE ABC-10G FIRE EXTINGUISHERS BY NATIONAL FIRE AS REQUIRED BY LOCAL AUTHORITY.
- REFER TO PIPE SCHEDULE AND PLUMBING FIXTURE SCHEDULE FOR PIPING/INSULATION MATERIAL AND FIXTURE DETAILS.
- PROVIDE CEILING ACCESS DOORS WHERE REQUIRED AND AS INDICATED ON ARCHITECTURAL DRAWINGS.

- ALL PIPING SHALL BE CONCEALED. ALL PIPING RUN OUT TO PLUMBING FIXTURES AND GAS COCKS SHALL BE ROUTED DOWN IN NEW WALL CAVITIES AS PROVIDED BY THE GENERAL CONTRACTOR TO RESPECTIVE FIXTURE UNITS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL CONSTRUCTION AND PIPE CHASES.
- MECHANICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL PIPING BEDDING AND BACKFILLING MATERIAL FOR DRAINAGE PIPING INSTALLED BELOW THE BUILDING FLOOR.
- SPECIFICATIONS OF PLUMBING FIXTURES: (FOR PLUMBING FIXTURES OTHER THAN SPECIFIED BELOW REFER TO DRAWING M302)

FS-1 FLOOR SINK – FINISHED AREA

J.R. SMITH #305-HO3xO4 c/w 3/4 AR CAST IRON GRATE.

FD-1 FLOOR DRAINS – FINISHED AREA – ADJUSTABLE STRAINER

WATTS #FD-100-C –NH-A5-1 FLOOR DRAIN, EPOXY COATED CAST IRON BODY, ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR WITH PRIMARY AND SECONDARY WEEPHOLES, NO HUB , 5" (127MM) DIAMETER, NICKEL BRONZE STRAINER.

FD-1 FLOOR DRAINS – FINISHED AREA – STRAINER WITH FUNNEL

JAY R. SMITH #2005-3580NB-A05NB FLOOR DRAIN, ALL DUCCO COATED, 9" (220MM) DIA. CAST IRON BODY, REVERSIBLE FLASHING CLAMP WITH SEEPAGE OPENINGS, NO-HUB OUTLET ROUND FUNNEL 4" (102MM) DIA. (BOLTED-ON TO STRAINER) NICKEL BRONZE, 5" NICKEL BRONZE ROUND STRAINER.

CLEANOUTS

PROVIDE CLEANOUT SUITABLE IN ALL RESPECTS FOR THE INTENDED APPLICATION WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE. CLEANOUTS IN PIPING 4" AND SMALLER SHALL BE SAME SIZE AS PIPE. OTHER CLEANOUTS SHALL BE A MINIMUM 4" DIAMETER.

D. HVAC

- THE MECHANICAL CONTRACTOR SHALL VERIFY EXACT LOCATION AND OF EQUIPMENT PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. PROVIDE ALL REQUIRED ELBOWS, DUCT ACCESSORIES, ETC. TO COMPLETE THE INTENT OF THE MECHANICAL DRAWINGS.
- FABRICATE DUCTWORK AND HANGERS TO LATEST ASHRAE AND SMACNA RECOMMENDATIONS. OUTSIDE DUCTWORK SHALL BE SHEET METAL. KITCHEN EXHAUST DUCTWORK SHALL BE BLACK IRON C/W 3M FIRE WRAP PER NFPA 96.
- PROVIDE GRILLES AND REGISTERS OF SIZE AND TYPE AS SHOWN ON THE DRAWINGS. FINAL LOCATIONS SHALL SUIT CEILING PLANS AND/OR AS DIRECTED ON SITE.

E. TESTING, ADJUSTING AND BALANCING

- PROVIDE ALL NECESSARY BALANCING AND VOLUME CONTROL DAMPERS. BALANCE AIR SYSTEM TO VOLUMES NOTED ON DRAWINGS. SUBMIT 3 COPIES OF BALANCING REPORT TO THE ENGINEER. AIR BALANCING MUST BE DONE BY AN INDEPENDENT AIR BALANCING CONTRACTOR AND A REPRESENTATIVE OF THE ASSOCIATED AIR BALANCING COUNCIL. BALANCING OF AIR SYSTEM SHALL BE AT FULL LOAD CONDITIONS.

F. CONTROL

MANUFACTURE AND INSTALLATION WHEN REQUIRED SHALL BE BY OWNER'S/LANDLORD'S APPROVED CONTRACTOR. NEW THERMOSTATS SHALL MATCH BASE BUILDING.

MOUNTING HEIGHT SHALL BE 5 FT. 0 IN. FROM FINISHED FLOOR. COORDINATE LOCATION WITH ARCHITECT/DESIGNER. DO NOT INSTALL IN VICINITY OF ELECTRICAL LIGHTING DIMMERS.

CLEAN AND RECALIBRATE ALL EXISTING THERMOSTATS UPON COMPLETION OF CONSTRUCTION. SUBMIT REPORT THAT THIS WORK WAS COMPLETED.

PROVIDE ALL NECESSARY EMT CONDUIT, FITTINGS AND WIRE TO PROVIDE A COMPLETE AND OPERATING CONTROL SYSTEM. HARD WIRE ALL ELECTRICAL CONTROL DEVICES INTO THE ASSOCIATED SYSTEM MAGNETIC STARTER. PROVIDE POWER TO CONTROL PANEL FROM THE NEAREST NORMAL POWER ELECTRICAL DISTRIBUTION PANEL.



MINISTRY OF PUBLIC WORKS



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DESIGN

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Project Number: 200221LH

Project Title:

Lefroy House Care Community Renovation Works

LEFROY HOUSE
7 HEYDON ROAD
SANDYS
BERMUDA, MA 01

Sheet Title:
MECHANICAL SPECIFICATION

Revisions: | Sheet Number:



M3.1